



# City of Verona

Plan Commission Meeting Agenda  
City Hall – 111 Lincoln Street  
Verona, WI 53593-1520

Monday – January 6, 2020 – 6:30 P.M.

[www.ci.verona.wi.us](http://www.ci.verona.wi.us)

1. Call to Order
2. Roll Call
3. Public Comment
4. Approval of minutes from the December 2, 2019 Plan Commission Meeting.
5. **Public Hearing** – Conditional use permit for a proposed in-vehicle sales or service land use to construct a drive-through to be located at 150 West End Circle.
  - a. Discussion & Possible Action – Conditional use permit for a proposed in-vehicle sales or service land use to construct a drive-through to be located at 150 West End Circle.
  - b. Discussion & Possible Action – Site plan review to allow for the construction of a drive-through located at 150 West End Circle.
6. **Public Hearing** – Conditional use permit amendment to the Epic Systems Corporation “Group Development” to allow for the construction of two (2) office buildings on Campus 5 located at 1979 Milky Way.
  - a. Discussion & Possible Action – Conditional use permit amendment to the Epic Systems Corporation “Group Development” to allow for the construction of two (2) office buildings on Campus 5 located at 1979 Milky Way.
  - b. Discussion & Possible Action – Site plan review for Epic Systems Corporation to allow for the construction of two (2) office buildings located at 1979 Milky Way.
7. Discussion & Possible Action – Site plan review for a substation to be located at 850 Northern Lights Road.
8. Discussion & Possible Action – Initial review for Epic Systems Corporation to construct a workshop building located at 1979 Milky Way.
9. Reports and comments from the Planning Department
  - a. Update on development projects.
  - b. Bronze Bicycle Friendly Community
10. Reports and comments from the Plan Commissioners
11. Adjournment

Luke Diaz

Posted: Verona City Hall,

Verona Public Library,  
Miller's Market

All agendas are posted on the City's website at: [www.ci.verona.wi.us](http://www.ci.verona.wi.us)

**Notice:** If need an interpreter, materials in alternative formats, or other accommodation to access the meeting, please contact the City Clerk at 845-6495 at least 48-hours preceding the meeting. Every reasonable effort will be made to accommodate your request.

Notice is hereby given that a majority of the City Council may be present at the meeting of the Plan Commission to gather information about a subject over which they have decision-making responsibility.

This constitutes a meeting of the City Council pursuant to the State ex rel. Badke v. Greendale Village Board, 173Wis. 2d 553, 494 N.W. 2d 408 (1993) and must be noticed as such, although the City Council will not take any formal action at this meeting.



**City of Verona**  
**Minutes**  
**Plan Commission**  
**December 2, 2019**

1. **Call to Order:** Luke Diaz called the meeting to order at 6:30 p.m.
2. **Roll Call:** Mike Bare, Luke Diaz, Sarah Gaskell, Steve Heinzen, Pat Lytle, Scott Manley and Beth Tucker Long were present. Also present: City Administrator Adam Sayre; Community Development Specialist Katherine Holt; City Attorney Bryan Kleinmaier; and AECOM Engineer Carla Fischer.
3. **Public Comment:** There were no comments by the public.
4. **Minutes:** Motion by Gaskell, seconded by Bare, to approve the November 4, 2019 Plan Commission Minutes. Motion carried 7-0.
5. **Public Hearing – Precise implementation plan (PIP) amendment for a planned unit development (PUD), known as Sugar Creek Commons, located at 501 West Verona Avenue, 503 West Verona Avenue, 507 West Verona Avenue, and 100 Legion Street that would allow for the construction of 143 apartment units and 26,000 square feet of commercial space.**

Sayre presented the Staff report. The precise implementation plan (PIP) for this project has expired, and the developer has requested an extension.

Motion by Diaz, seconded by Tucker Long, to open the public hearing at 6:33 p.m. Motion carried 7-0.

There were no comments from the public.

Motion by Bare, seconded by Tucker Long, to close the public hearing at 6:34 p.m. Motion carried 7-0.

- a. **Discussion & Possible Action – Precise implementation plan (PIP) amendment for a planned unit development (PUD), known as Sugar Creek Commons, located at 501 West Verona Avenue, 503 West Verona Avenue, 507 West Verona Avenue, and 100 Legion Street that would allow for the construction of 143-apartment units and 26,000 square feet of commercial space.**

Sayre stated this is a re-approval of a PIP for the Sugar Creek Commons project, which expired in November 2019. The project has not changed, and Staff has no concerns with re-approving the PIP.

Gaskell asked when buildings D, E and F will be built, and if all of the construction dates are being pushed back.

Fred DeVillers, Forward Development Group, replied construction of buildings D, E and F will not take place until after buildings B and C are built and leased out. Market forces will dictate how long it will take to lease out buildings B and C.

Tucker Long asked why this project has been delayed a year.

Sayre replied the City is continuing negotiations with the developer on a potential TIF incentive.

Tucker Long asked when the TIF negotiations might come to an end.

Sayre replied the negotiations are ongoing.

Motion by Manley, seconded by Tucker Long, to recommend to the Common Council to approve the Precise Implementation Plan (PIP) for Sugar Creek Commons for Buildings B and C, with the following condition:

1. Prior to the issuance of building permits, Forward Development Group shall enter into a Developer's Agreement with the City of Verona.

Motion carried 7-0.

**6. Discussion – Initial review for Epic Systems Corporation to construct two (2) office buildings on Campus 5 located at 1979 Milky Way.**

Sayre explained the two buildings, Mystery and Castaway, will be located east of the existing Campus 5 site. Access to the site is from Northern Lights Road. The existing parking ramp is sufficient to accommodate parking for the additional two buildings. Staff has no concerns about stormwater or landscaping on the site. The buildings will be constructed of high quality materials, and will be an asset to the community.

Lytle asked if a large portion of the buildings will be visible to neighboring homeowners.

Sayre replied these buildings will likely be less intrusive than the existing buildings on the Epic property.

Tucker Long, Manley and Diaz remarked that they appreciate the architecture of the buildings, and support the project.

**7. Discussion – Initial review for a Final Plat for Epic Systems Corporation to consolidate twenty-three (23) tax parcels to one (1) parcel and two (2) outlots located at 1979 Milky Way.**

Sayre explained several of the buildings on the Epic property cross lot lines. The Final Plat would combine the 23 existing parcels into one large parcel, with the exception of the well site and two outlots along Northern Lights Road. The new plat will result in property boundaries and records that coincide with current and future planned use. This item will be coming back to the Plan Commission in 2020.

Heinzen asked if this change will have any effect on the property's assessed value.

Sayre replied the change will not impact the assessed value of the property.

Gaskell asked if Epic owns the property on the south side of Epic Lane.

Sayre replied the right-of-way along Epic Lane essentially creates a lot line, and splits the parcels on the south side of Epic Lane from the rest of the property.

Lytle pointed out that the City well creates an island of City land surrounded by private property, and asked if that could be a problem for the City in the future.

Sayre replied it is not an ideal situation, but in some cases there is no other choice. He does not foresee any issues arising from the location of the well.

**8. Discussion – Initial review for a proposed drive-through for an automated teller machine (ATM) for Summit Credit Union located north of 154 West End Circle on the northern portion of Stephen Way.**

Sayre explained an automated teller machine performs as an ATM that also has teller functions. The Applicant is planning to locate in the West End development, which is currently under construction. They would like to install an ATM in a drive-through area adjacent to Stephen Way. Access to the machine will be from Stephen Way, with exit restricted to a right turn back onto Stephen Way.

Gaskell asked if access to the ATM could be provided from the existing parking lot with access from the west internal to the parking area.

Sayre replied it may result in a loss of parking stalls, and a cut in that location may potentially back traffic up on Stephen Way. Introducing a lot of movement into an area that is very close to an intersection may be asking for trouble.

Gaskell is concerned that having too many access points will make it difficult for students crossing Stephen Way when walking to and from the high school.

Diaz echoed Gaskell's concerns.

Lytle thinks this layout will work, but there is some awkwardness about the way it is laid out.

Tucker Long is concerned about the exit from the drive-through being nearly directly across from the exit for the parking lot to the south.

Manley asked who will be responsible for snow removal in this area.

Sayre replied Steve Brown Apartments will be responsible for snow removal and maintenance. There is some concern over snow storage. It may have to be hauled away.

Manley expressed concern that snow may be dumped in the parking lot, resulting in fewer open parking stalls. He asked if placing the drive-through adjacent to the credit union building is a possibility.

Sayre replied there were a few alternatives for the location of the teller machine. Some concerns with other locations were loss of parking space and traffic movement. The City's ordinance regarding stacking requirements can be challenging, as well, and sometimes dictates the layout of a drive-through.

Greg Polacheck, Summit Credit Union, stated this option is the fourth attempt at a drive-through on this property, and seems to be the best choice.

Dan Seeley, Steve Brown Apartments, stated they have been working with KL Engineering to design this site.

Sayre stated AECOM traffic engineer Jess Billmeyer can study the area for possible solutions.

**9. Reports and comments from the Planning Department**

**a. Update on development projects**

Sayre stated development updates are now posted on the City's website, with once-a-month updates on projects going on around the City.

**10. Reports and comments from the Plan Commissioners**

There were no comments from the Plan Commissioners.

**11. Adjournment**

Motion by Tucker Long, seconded by Bare, to adjourn at 7:17 p.m. Motion carried 7-0.



# Planning Report

City of Verona

Plan Commission 1-6-2020

## **Summit Credit Union**

### **Conditional Use Permit & Site Plan Review**

**Summary:** The Applicant has submitted a request for a conditional use permit and site plan review to allow for the construction of an automated teller machine with a drive-through on the north side of Stephen Way.

**Property Location:** 150 West End Circle

**Property Owner:** West End Lot LLC  
Steve Brown Apartments  
120 W. Gorham St.  
Madison, WI 53593

**Applicant:** Summit Credit Union  
Greg Polacheck  
1709 Landmark Drive  
Cottage Grove, WI 53527

**Existing Zoning:** Suburban Commercial with a Planned Unit Development in the Downtown Design and Use overlay zone

**Existing Land Use:** Vacant

**Proposed Land Use:** In-vehicle sales or service (drive-through)

**Figure 1 – Location Map**



**Site Description:**

The Applicant is requesting a conditional use permit (CUP) and site plan approval for an automated teller machine (ATM) as depicted in red in Figure 1 to be located north of Stephen Way. This land is zoned Suburban Commercial (SC) with a Planned Unit Development overlay and is within the Downtown Design and Use overlay district. Land uses surrounding the Property include apartments and the future high school to the south, West Verona Avenue to the north, vacant land to the west, and a gas station under construction to the east. The Applicant has informed Staff that a typical ATM has four (4) to twelve (12) users per day.

**Background:**

In 2016, a GDP was approved in September followed by a PIP approval in November of 2016 to construct a 29-unit apartment building, eight (8) townhouses, and 15,200 square feet of commercial space. The 2016 project was never constructed.

In 2018, a GDP was approved in August with the following exemptions from Common Council:

1. Front yard setback for ten (10)-feet;
2. A drive-thru can be located between the building and West End Circle; and
3. Artistic mural sign on a wall, two (2) fourteen (14) foot tall pylon signs and a Market 5 monument sign.

In October of 2018, the PIP was approved to construct 28,849 square feet of commercial space as depicted in Figure 2. The project is currently under construction.

Conditional Use Permit  
Summit Credit Union – Drive-through



Figure 2 - Approved PIP

In November of 2019, the Plan Commission discussed the initial design of the drive-through as depicted in Figure 3. Comments included concerns regarding several points of conflict, pedestrian concerns, could the drive-through entrance and exit integrated with the parking lot, and are there a better design for the drive-through than this option.

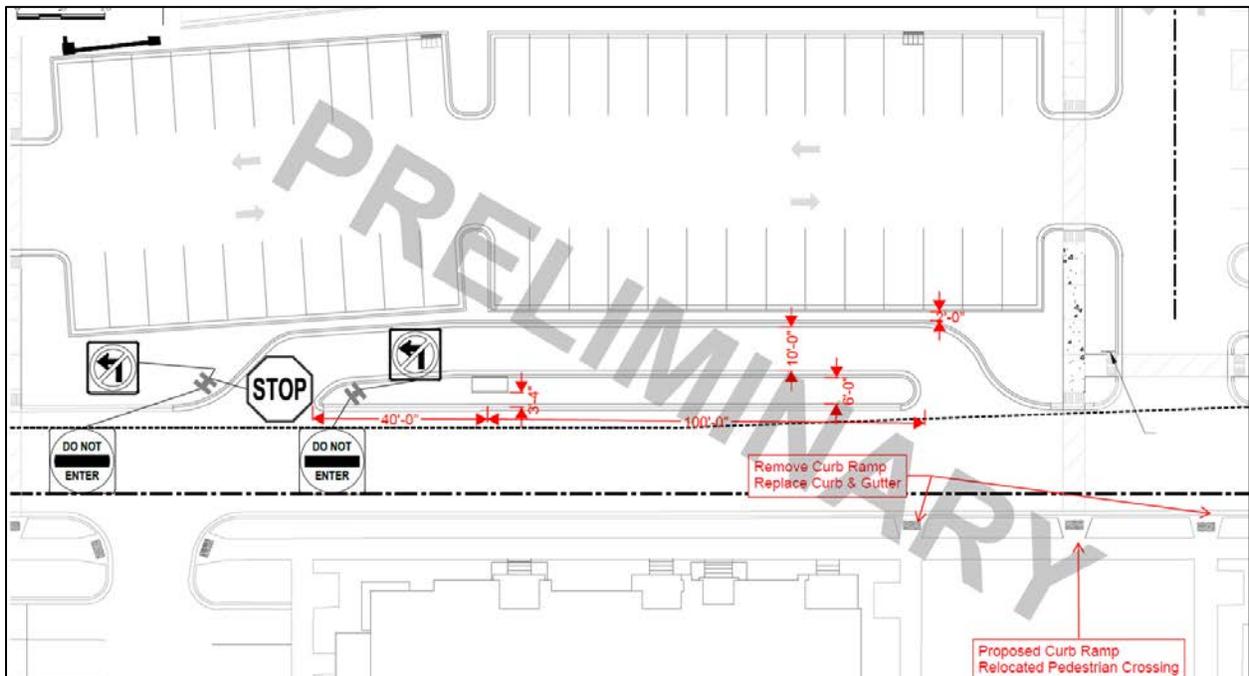
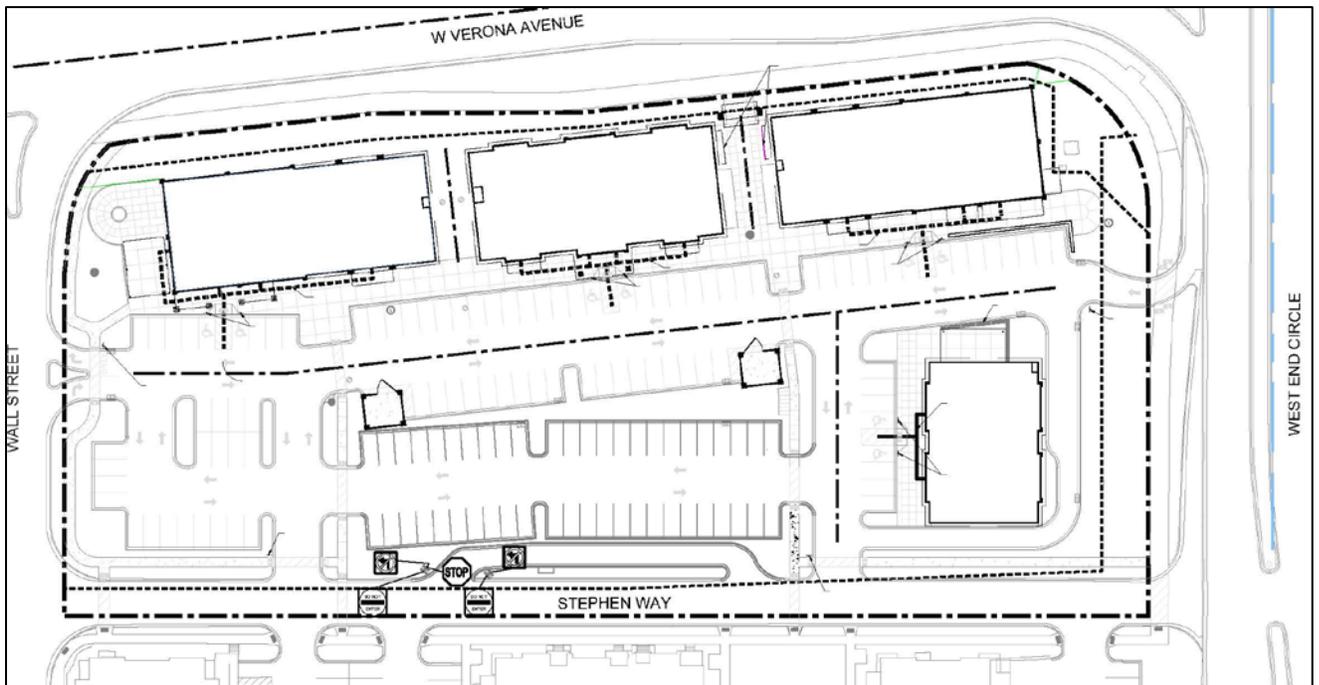


Figure 3 - Initial review

## **Planning Review:**

### **Design and location:**

The Applicant is requesting to locate an ATM north of Stephen Way in an area that was proposed to be landscaped with five (5) trees by Steve Brown Apartments. These trees would be relocated on the property even though the development exceeded the minimum landscaping requirements. The ATM is located two (2) feet south of the back of the curb for the parking area for the commercial development. The ATM is located 3.4 feet north of the back of the curb for Stephen Way. The sidewalk depicted in Figure 2 will be moved to the east towards the commercial development access point to allow the required 100-foot queuing distance as depicted in Figure 4. Staff recommends the Applicant coordinate with the property owner to add parking wheel stops to ensure that a car will not overhang the two (2) feet into the drive-through area of the ATM.



**Figure 4 - Proposed drive-through**

As depicted in Figures 5 and 6, the Applicant placed the entrance and exit of the drive-through interior to the site per the Plan Commission suggestion. This design was determined by the Applicant not to work as the site would lose eight (8) to nine (9) parking spaces. The potential conflicts with the proposed design will be minimal as Summit is projecting four (4) to twelve (12) users of the drive-through per day. This does not justify the loss of parking per the Applicant. Staff concurs that the minimal amount of traffic generated by the ATM does not warrant losing that many parking spaces, which will be needed depending on the tenants of the buildings.

Conditional Use Permit  
Summit Credit Union – Drive-through

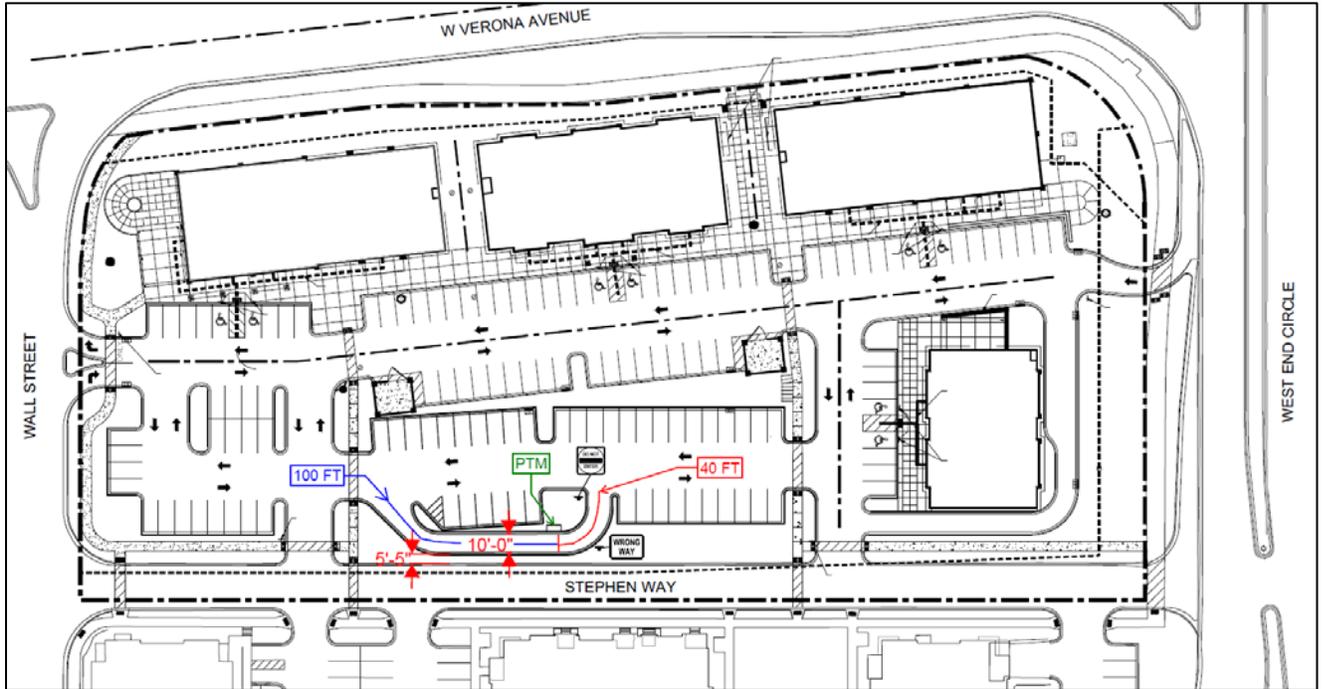


Figure 5 - One option that was analyzed

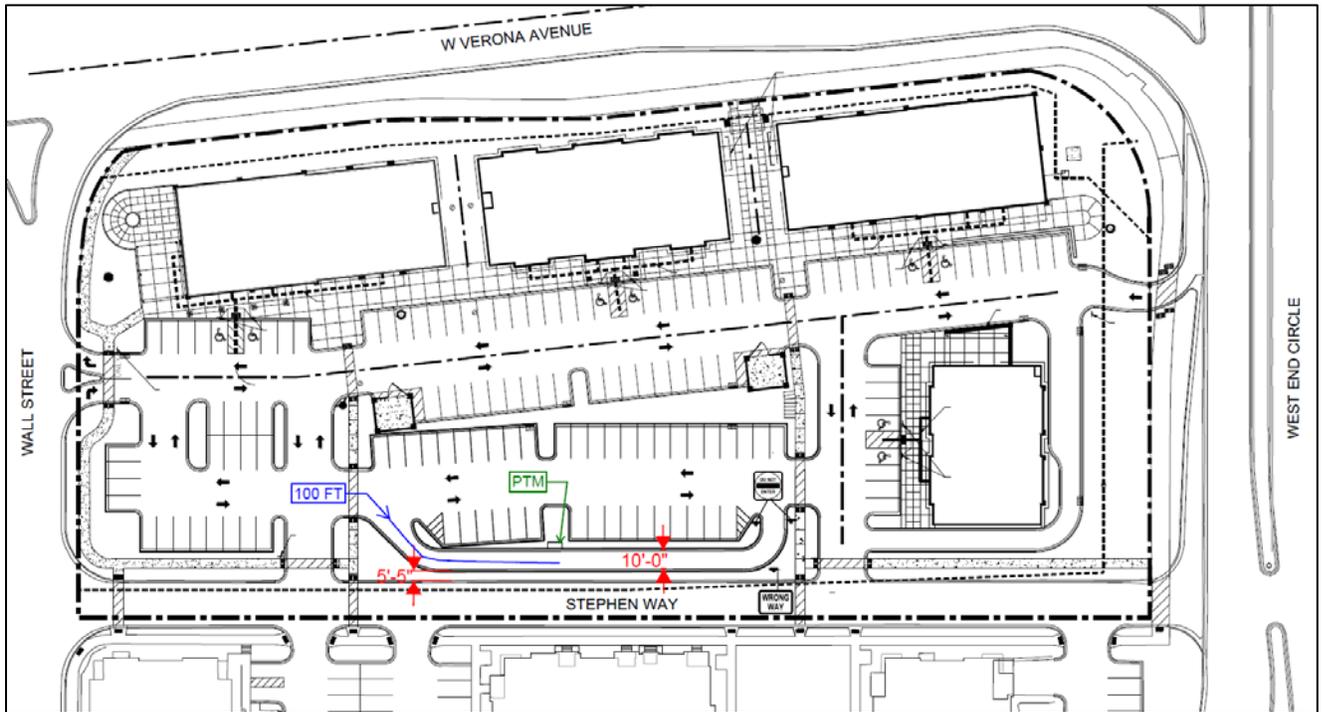


Figure 6 - Second option analyzed

**Bulk Requirements:**

The Property is located within the Downtown Overlay District which prohibits locating drive-through between the building and roadway. The PIP was approved to allow an exemption to the drive-through for a commercial building as it will not face onto Verona

Conditional Use Permit  
Summit Credit Union – Drive-through

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Avenue, but instead fronts West End Circle. The ATM will be located off of Stephen Way, which does not front onto West Verona Avenue.

**Conditional Use Permit Findings:**

The Applicant is requesting approval for drive-through lane, which is listed as a conditional use in the City's Zoning Ordinance for the SC zoning district. The Zoning Ordinance (Article J: Sec. 13-1-363) requires all conditional uses to fulfill general and specific standards for all conditional use permit requests.

1. *How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, this Chapter, and any other plan, program, or Chapter adopted, or under consideration pursuant to official notice by the City?*

The proposed drive-through would allow customers to stay inside their vehicle to conduct business, which is similar to other financial institutions within the City.

2. *How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, this Chapter, and any other plan, program, or Chapter adopted, or under consideration pursuant to official notice by the City?*

The location of the proposed use is in harmony with the goals and policies of the City in the specific location proposed.

3. *Does the proposed conditional use, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or Chapter adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?*

The proposed drive-through will not result in any undue adverse impact as the Applicant has stated that there are typically four (4) to twelve (12) vehicles that use the drive-through in a day.

4. *Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?*

The proposed drive-through will maintain a consistency of land uses within the surrounding area.

Conditional Use Permit  
Summit Credit Union – Drive-through

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5. *Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?*

The proposed drive-through will not impose an undue burden on public facilities and services in the area as they are already provided.

6. *Do the potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?*

The benefits of the proposed use outweigh any adverse impacts in the neighborhood.

**Specific Standards Findings:** (Article C: Sec. 13-1-89(g)(3))

- a. *Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the drive-through lane(s).*

This is not applicable to the project as there is not a building in the vicinity of the proposed ATM location.

- b. *The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.*

The Applicant is proposing traffic signs to assist drivers in understanding the appropriate entrances and exits to the ATM drive-through area. A marked pedestrian crosswalk is flanking the entrance and exit of the drive-through area, which was approved as part of the PIP for West End commercial development. The eastern crosswalk will be relocated farther to the east allowing the drive-through to fit. The crosswalks link the commercial portion of West End development to the existing apartments across Stephen Way.

- c. *In no instance shall a drive-through facility be permitted to operate which endangers the public safety, even if such land use has been permitted under the provisions of this Section.*

The drive-through facility is located off of Stephen Way, which is a low volume private drive. There is an entrance to the commercial development west and east of the proposed ATM entrance and exit. The ATM is setback far enough away from the access points to not hinder vehicle sight lines.

Conditional Use Permit  
Summit Credit Union – Drive-through

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- d. *The setback of any overhead canopy or similar structure shall be a minimum of 10 feet from all street rights-of-way lines, a minimum of 20 feet from all residentially-zoned property lines, and shall be a minimum of 5 feet from all other property lines. The total height of any overhead canopy of similar structure shall not exceed 20 feet as measured to the highest part of the structure.*

This is not applicable as the Applicant is only proposing a standalone ATM without a canopy.

- e. *All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum 4 ton axle load.*

The Applicant will comply with this requirement.

- f. *Facility shall provide a bufferyard with a minimum opacity of .60 along all property borders abutting residentially zoned property (Section 13-1-249).*

Staff is recommending the Applicant not provide a bufferyard from the apartments. A bufferyard is not needed as the property does not abut the residential section, but is separated by Stephen Way. Staff believes it is important to keep open sight lines to the ATM area as well as the entrance and exit of the drive-through to not hinder sight lines.

- g. *Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports and landscaped islands. Said curbs shall be a minimum of 6 inches high and be of a nonmountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to all property lines.*

Staff recommends the Applicant coordinate with the property owner to add parking stops to the previously approved parking stalls to ensure that a vehicle will not overhang the two (2) feet into the drive-through area of the ATM.

- h. *Parking Regulations. One space per 50 sf of gross floor area. Each drive-up lane shall have a minimum stacking length of 100 feet behind the pass through window and 40 feet beyond the pass through window.*

The Applicant has noted on the site plan that the ATM meets the minimum stacking length of 100 feet behind the ATM screen and 40 feet beyond the ATM screen.

Conditional Use Permit  
Summit Credit Union – Drive-through

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**Recommendation:**

Staff recommends the following Plan Commission action:

1. Recommend that the Common Council approve a conditional use permit to allow for the in-vehicle sales and service land use to construct a drive-through to be located at 150 West End Circle.
2. Approve the site plan allowing for the construction of a drive-through located at 150 West End Circle.

**Prepared by:** Katherine Holt *KH*  
Community Development Specialist

**Submitted by:** Adam Sayre, AICP *AS*  
City Administrator

**From:** Dan Seeley [mailto:dseeley@stevebrownapts.com]  
**Sent:** Thursday, December 12, 2019 3:39 PM  
**To:** Katherine Holt  
**Cc:** Greg Polacheck; 'Jenny Lisak'; Alyssa Hellenbrand-Best  
**Subject:** Re: Conversation

Katherine -

Attached is the design we previously shared without the "preliminary" watermark. As we discussed, after reviewing Jess Billmeyer's comments and exploring the rearrangement of the drive lane, we believe this remains the best option. Despite multiple configurations, relocating the drive lane so it is internal to the parking lot causes the loss of 8-9 parking spaces. With parking already tight on the site and Summit's projections of 4-12 users per day, traffic conflicts with our preferred design will be minimal and don't justify the loss of parking. We'd like to move forward with our initial design and call for the Plan Commission's vote.

Additionally attached are variations of the KL Engineering's redesigned drive lane. If you have any questions or need additional information, give me a call.

Thanks -

Dan Seeley  
Director of Development and Special Projects  
Steve Brown Apartments  
120 W. Gorham St.  
Madison, WI 53703  
P: 608-255-7100  
<http://www.stevebrownapts.com>

- Find us on Facebook at [www.facebook.com/sbapts](http://www.facebook.com/sbapts)



November 13, 2019

Katherine Holt  
Community Development Director  
City of Verona  
111 Lincoln Street  
Verona, WI 53593

Hello Katherine,

Thank you for meeting with us yesterday regarding Summit Credit Union's ATM situation at the West End Market No. 5 Retail Development.

I want to take a moment to add some background information to our application for an exterior ATM at the West End retail development project.

As you know, Summit Credit Union has been a member of the Verona business community for several years. We currently have an office at 202 East Verona Avenue Street in the downtown. That office is very small and Summit is not able to offer the full spectrum of financial services that our members have come to expect. One of those services is to provide ATM access to members to obtain their financial information and complete their financial transactions.

In the summer of 2018, the Verona Plan Commission approved Summit Credit Union to locate an exterior ATM at another location at 407 West Verona Avenue where it was seeking to construct a new branch. The construction of that location was not finalized for several reasons and since Fall of 2018 Summit has been seeking a larger location in Verona.

We are now seeking to locate a larger branch office in the West End retail development, however, to remain competitive and deliver the full spectrum of financial services that members and new members expect, we respectfully are submitting our request for an exterior ATM. This request is much reduced in scale from the CU permit that was approved by the Plan Commission in the summer of 2018 for the other location.

The request for an exterior ATM of this nature is also in keeping with three other locations that Summit Credit Union has or is installing this application.

In summer of 2019, Summit opened with this exterior ATM installation in the city of Brookfield. This fall, Summit was also approved in Mt. Pleasant where that installation is now underway. And lastly, the village of Greendale has approved this same installation for spring of 2020. The point being, that other municipalities have set a precedent and have approved this type of exterior ATM installation.

Brookfield and Greendale are new construction projects similar to West End project while Mt. Pleasant is a renovation of an existing shopping center.

Attached are some pictures and details of the other ATM installations. The West End engineering firm is forwarding under separate cover the specific details of how this would work at West End Market No. 5 in Verona.

Thank you for this consideration. If you or your committee members have any questions I would be more than happy to address any concerns that you or committee members may have.

Sincerely,



Recoverable Signature

**X** Greg Polacheck

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Greg Polacheck

Signed by: SUMMIT CREDIT UNION

Greg Polacheck, CCIM, CPM  
Real Estate Manager  
Summit Credit Union  
709 Landmark Drive  
Cottage Grove, WI 53527

FILE NAME : G:\TRAFFIC STUDY PROJECTS\WEST END - VERONA\NOVEMBER 2019\BH2018\_M5\_SITE PLAN - SHEET - A001\_KL-SCALE-ALT MOVE.DWG PLOT BY : KL ENGINEERING PLOT DATE : 11/15/2019 1:52 PM

SCALE, FEET  
0 30 60



WALL STREET

W VERONA AVENUE

WEST END CIRCLE

STEPHEN WAY



**Engineering**

[A] Better Experience  
5400 King James Way  
Suite 200  
Madison, WI. 53719  
Phone: (608) 663-1218  
Phone: (800)-810-4012  
http://klengineering.com  
email@klengineering.com

STEVE BROWN APARTMENTS

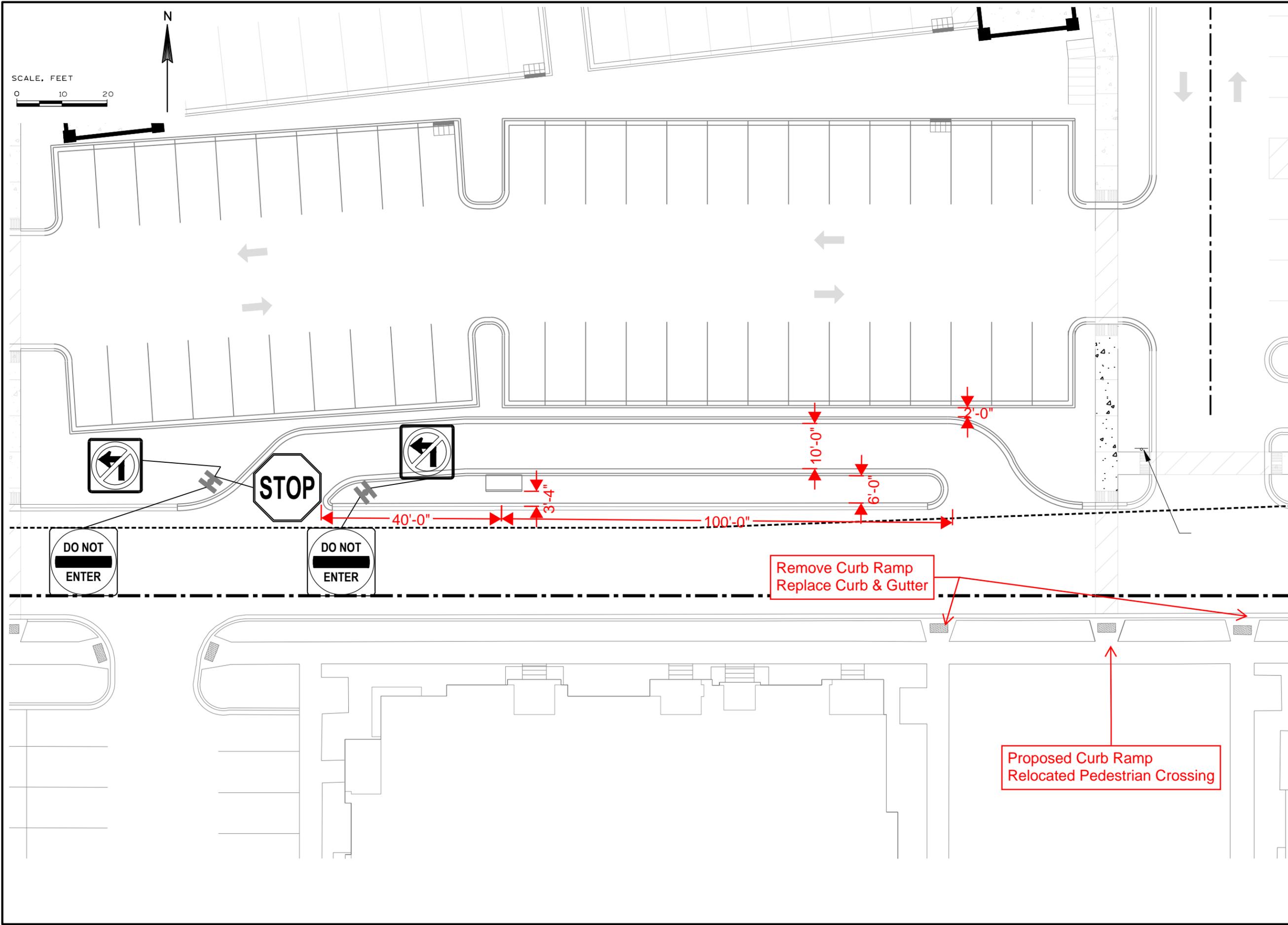
SITE PLAN

Project No: XXXXXX-XX  
Date: 11-15-2019  
Designed By: XXX  
Drafted By: XXX  
Checked By: XXXX

Revisions: XX-XX-XXXX

SHEET NO.

1 OF 2



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 [A] Better Experience  
 5400 King James Way  
 Suite 200  
 Madison, WI. 53719  
 Phone: (608) 663-1218  
 Phone: (800)-810-4012  
 http://klengineering.com  
 email@klengineering.com

STEVE BROWN APARTMENTS  
 SITE PLAN

Project No:	XXXXXX-XX
Date:	11-15-2019
Designed By:	XXX
Drafted By:	XXX
Checked By:	XXXX
Revisions:	XX-XX-XXXX

SHEET NO.  
 2 OF 2

FILE NAME : G:\TRAFFIC STUDY PROJECTS\WEST END - VERONA\NOVEMBER 2019\BH2018\_M5 - SITE PLAN - SHEET - A001\_KL-SCALE-ALT MOVE 2.DWG PLOT BY: KL ENGINEERING PLOT DATE: 12/10/2019 4:13 PM



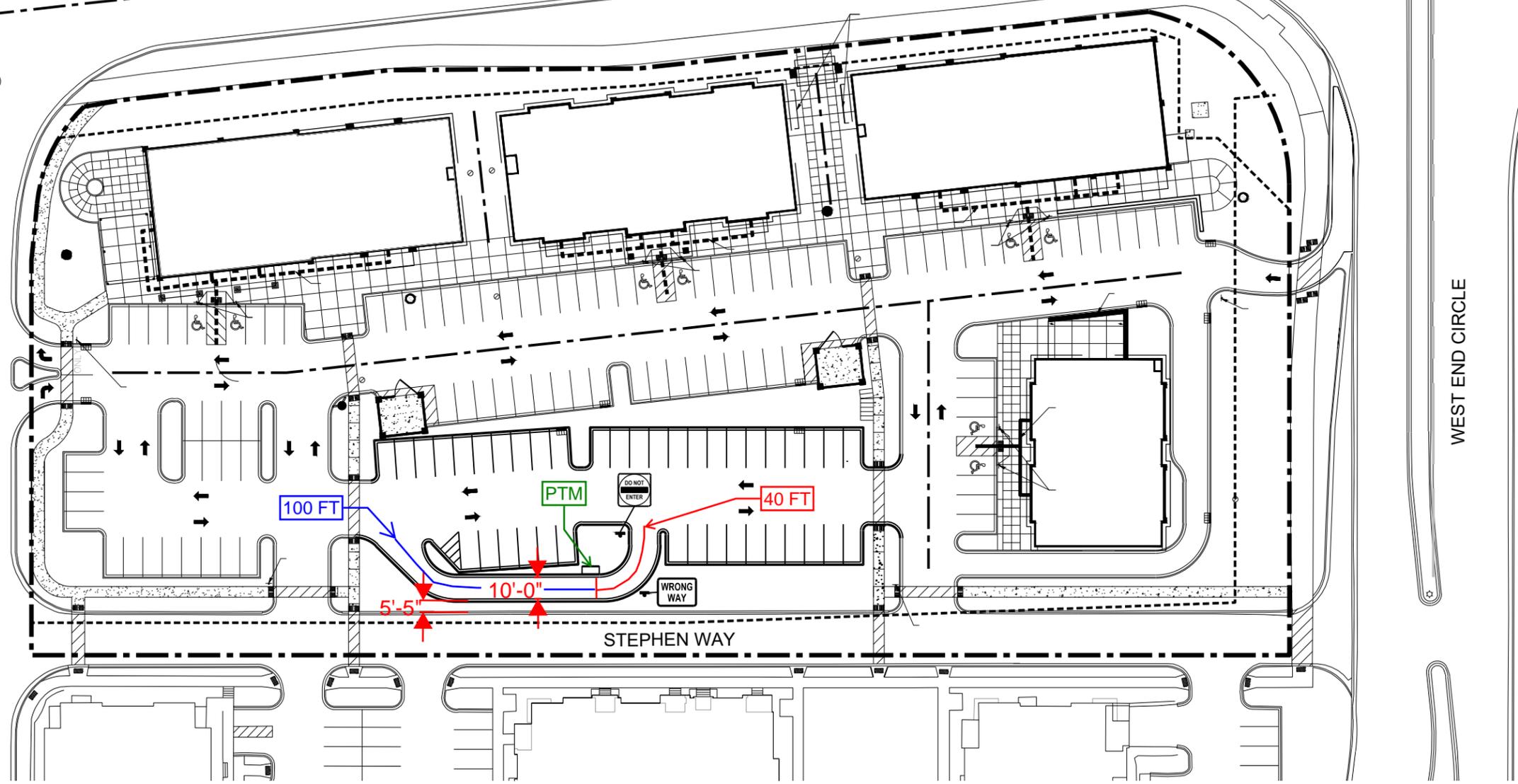
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STEPHEN WAY



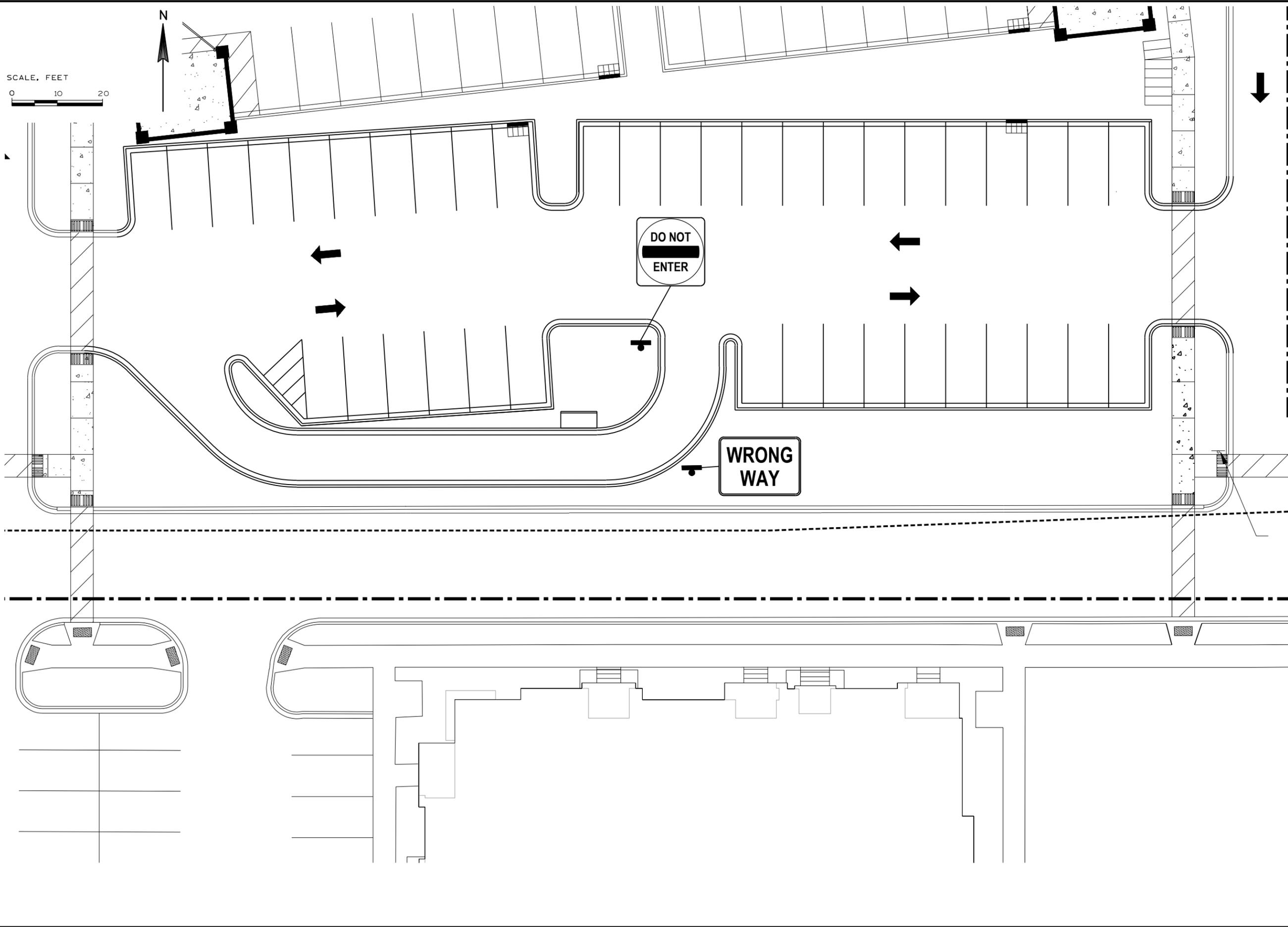
**KL**  
**Engineering**  
 [A] Better Experience  
 5400 King James Way  
 Suite 200  
 Madison, WI. 53719  
 Phone: (608) 663-1218  
 Phone: (800)-810-4012  
 http://klengineering.com  
 email@klengineering.com

STEVE BROWN APARTMENTS  
 SITE PLAN

Project No:	XXXXXX-XX
Date:	11-15-2019
Designed By:	XXX
Drafted By:	XXX
Checked By:	XXXX

Revisions: XX-XX-XXXX

SHEET NO.  
1 OF 6



**Engineering**

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 Madison, WI. 53719  
 Phone: (608) 663-1218  
 Phone: (800)-810-4012  
<http://klengineering.com>  
[email@klengineering.com](mailto:email@klengineering.com)

STEVE BROWN APARTMENTS

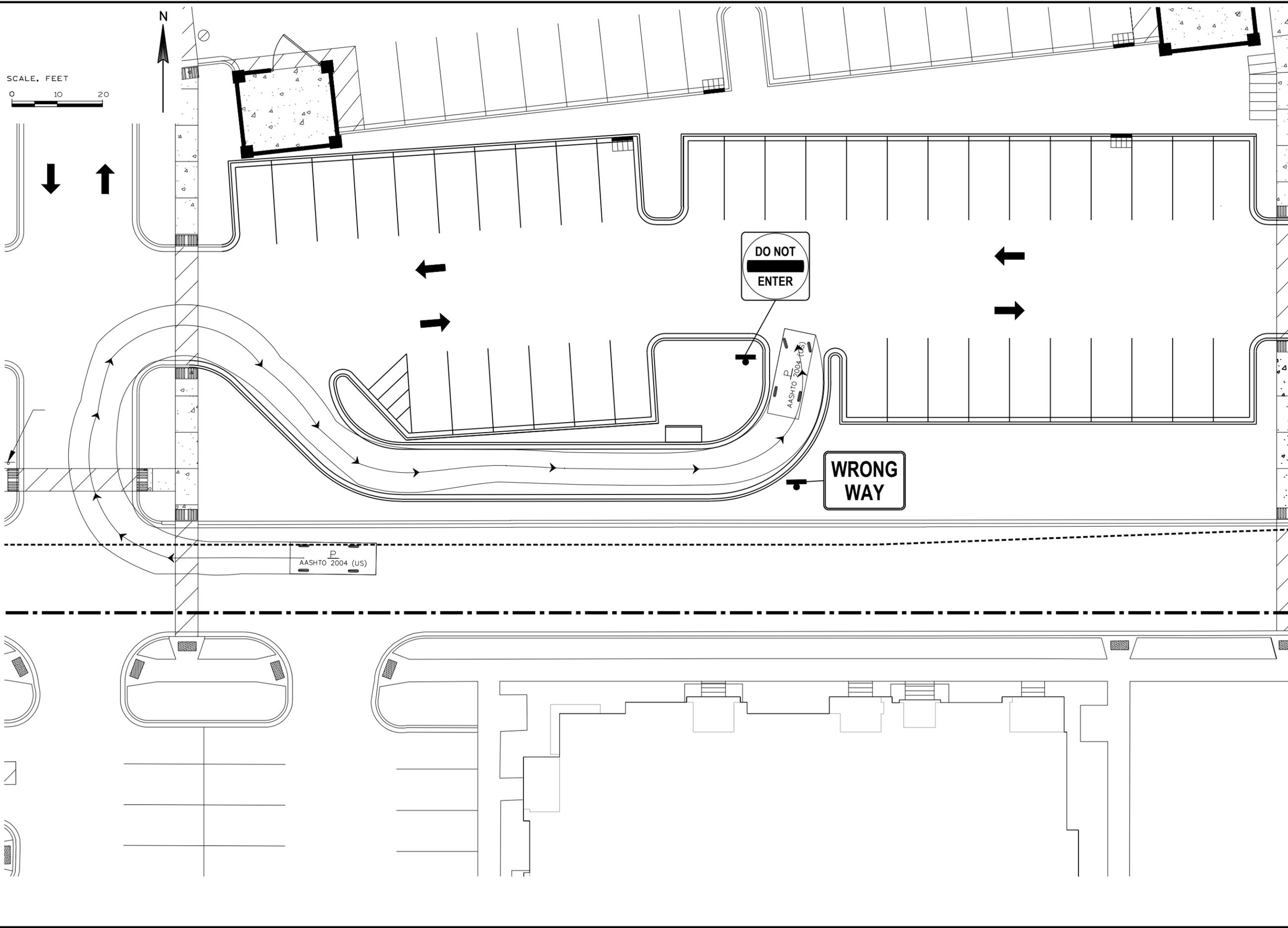
SITE PLAN

Project No: XXXXXX-XX  
 Date: 11-15-2019  
 Designed By: XXX  
 Drafted By: XXX  
 Checked By: XXXX

Revisions: XX-XX-XXXX

SHEET NO.

2 OF 6



**KL**  
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<http://klengineering.com>  
[email@klengineering.com](mailto:email@klengineering.com)

STEVE BROWN APARTMENTS  
 SITE PLAN

Project No: XXXXXX-XX  
 Date: 11-15-2019  
 Designed By: XXX  
 Drafted By: XXX  
 Checked By: XXXX

Revisions: XX-XX-XXXX

SHEET NO.  
 3 OF 6

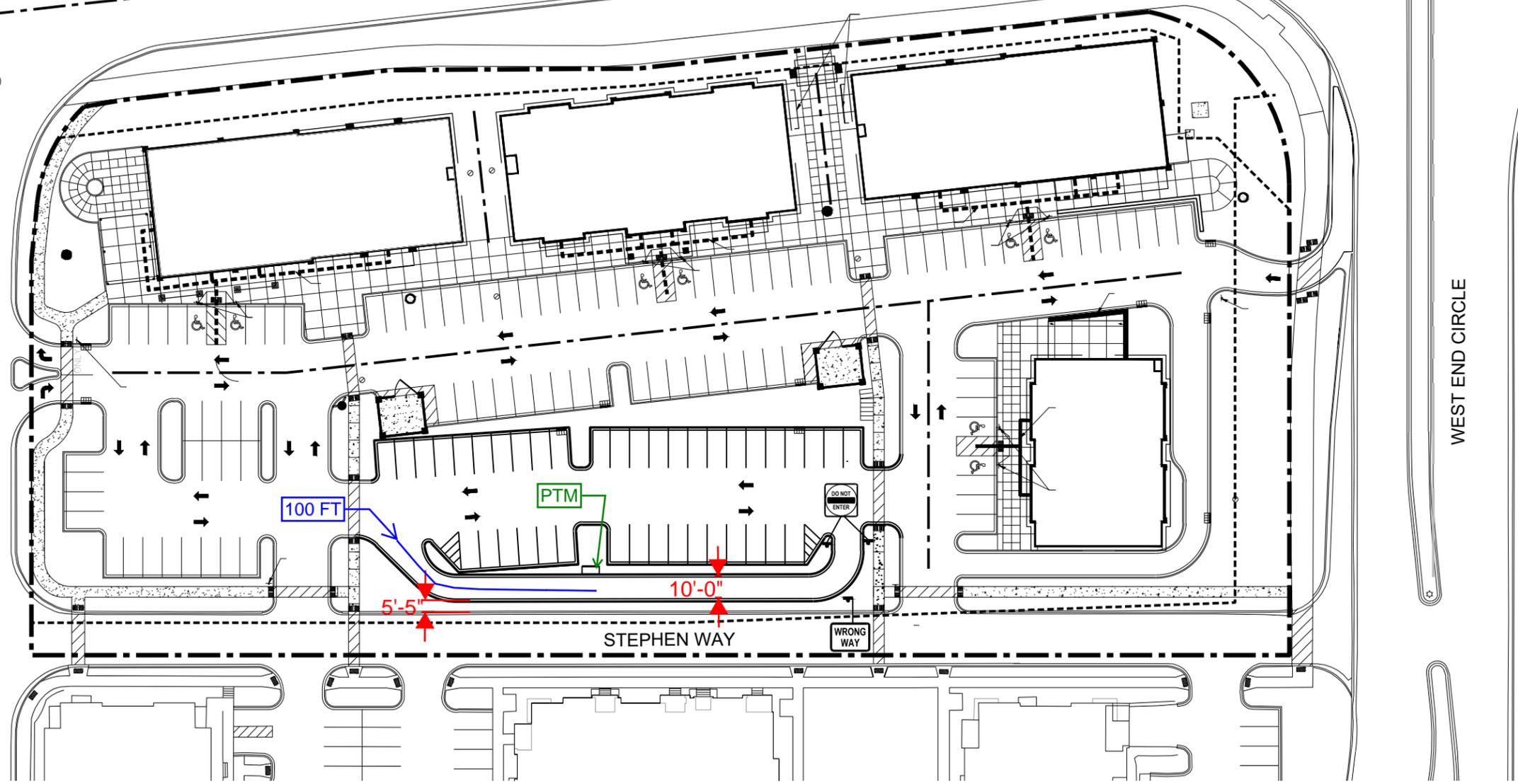


W WALL STREET

W VERONA AVENUE

W WALL STREET

WEST END CIRCLE



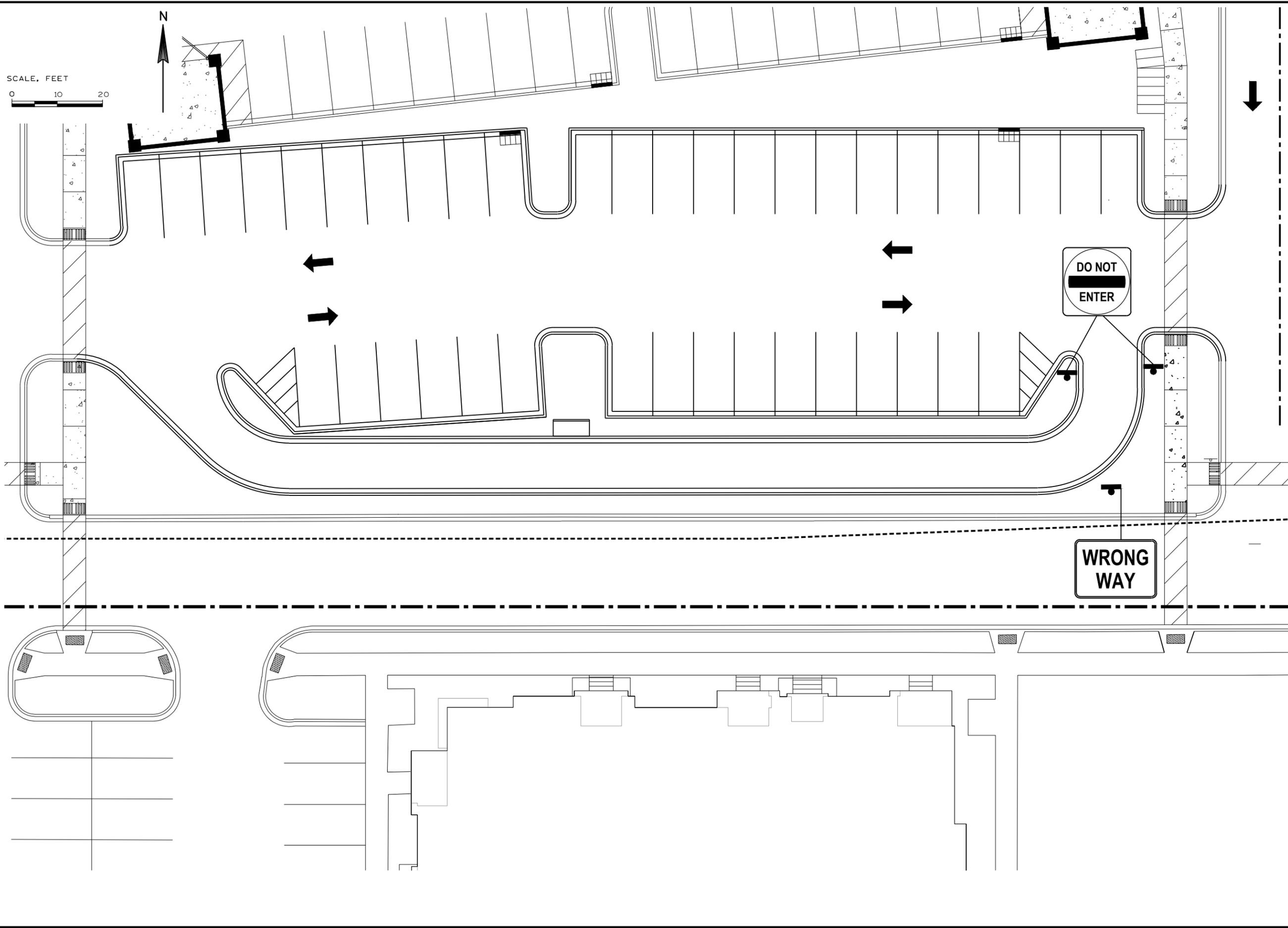
**KL**  
**Engineering**  
[A] Better Experience  
5400 King James Way  
Suite 200  
Madison, WI. 53719  
Phone: (608) 663-1218  
Phone: (800)-810-4012  
http://klengineering.com  
email@klengineering.com

STEVE BROWN APARTMENTS  
SITE PLAN

Project No:	XXXXXX-XX
Date:	11-15-2019
Designed By:	XXX
Drafted By:	XXX
Checked By:	XXXX

Revisions: XX-XX-XXXX

SHEET NO.  
**4 OF 6**



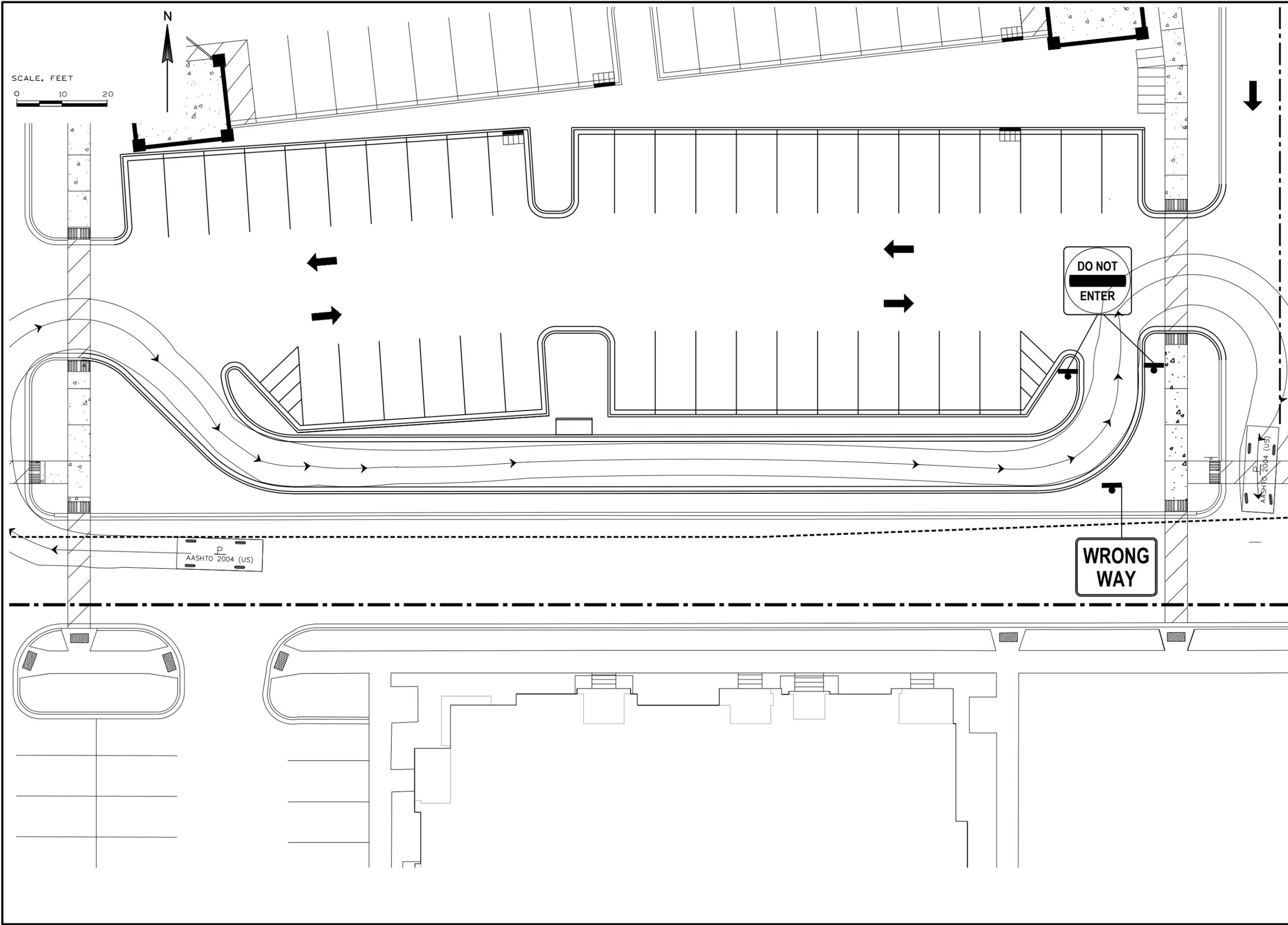
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SHEET NO.  
 5 OF 6



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 Checked By: XXXX

Revisions: XX-XX-XXXX

SHEET NO.  
 6 OF 6



# Planning Report

City of Verona

Plan Commission 1-6-2020

## ***Epic – Campus 5 – Phase 2***

### ***Site Plan and Conditional Use Permit Review***

**Summary:** The Applicant is requesting a site plan review to construct two (2) office buildings on Camps 5. The proposed buildings will add 350 offices each. The proposed buildings require a conditional use permit amendment and site plan approval.

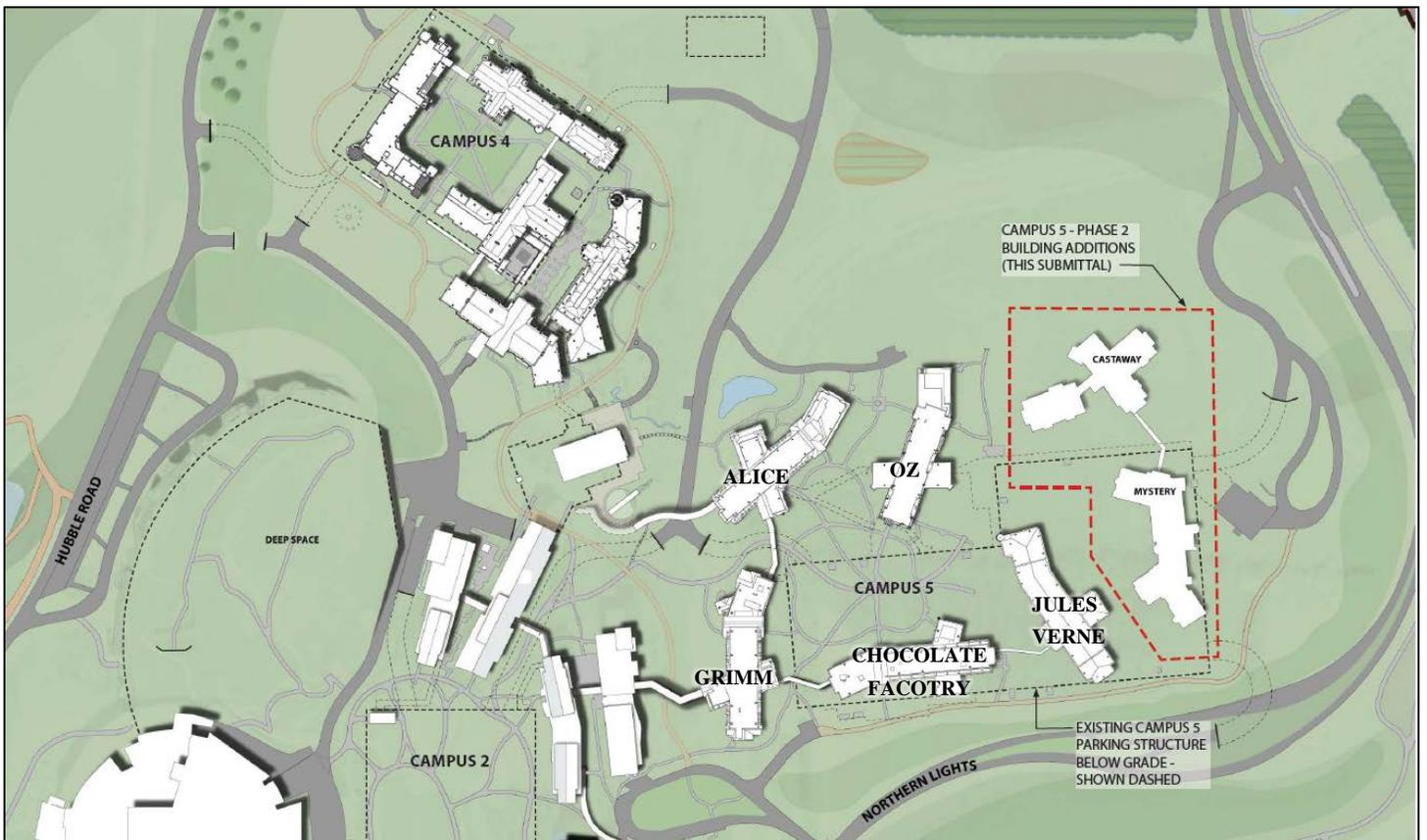
**Property Location:** 1979 Milky Way

**Property Owner:** Epic Systems Corporation  
1979 Milky Way  
Verona, WI 53593

**Applicant:** Same

**Existing Zoning:** Suburban Industrial (SI)  
**Existing Land Use:** Vacant land and parking ramp  
**Proposed Land Use:** Office buildings

**Figure 1 – Location Map**



Conditional Use Permit and Site Plan  
Epic – Phase 2 of Campus 5

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**Background:**

Epic is proposing to construct two (2) new office buildings (Mystery and Castaway) to the existing Campus 5. These two (2) buildings will add approximately 180,000 s.f. of floor space (approximately 90,000 s.f. and 350 offices, each). When completed, Campus 5 will contain a total of seven (7) buildings called Alice, Oz, Chocolate Factory, Grimm, Jules Verne (under construction), Mystery, and Castaway.

Below is a summary of Epic’s office campus construction and expansion in the City:

- **June 2003** – Campus 1 – City grants Epic a conditional use permit (CUP), group development, to construct Epic’s corporate headquarters with multiple buildings and structured parking.
- **February 2005** – CUP amended to allow construction of the “Learning Center”.
- **March 2007** – Campus 2 – CUP amendment to construct four (4) office buildings and structured parking.
- **March 2011** – Deep Space Auditorium – CUP amended to allow for the construction of an 11,000 – 13,000 seat auditorium.
- **December 2011** – Campus 3 – CUP amendment to allow for the construction of the Farm Campus, containing three (3) office buildings and structured parking.
- **May 2013** – Campus 4 – CUP amendment to allow for the construction of a 1,500 vehicle underground parking structure.
- **September 2013** – Food Service Building – CUP amendment to allow for the construction of a 64,000 square foot food service building.
- **November 2013** – Campus 4 – CUP amendment to allow for the construction of five (5) office buildings containing 1,580 offices known as the Wizards Academy.
- **February 2014** – Food Service Building – Site Plan amendment reducing the size of the food service building to 48,250 square feet.
- **May 2014** – Campus 5 – CUP amendment to allow for the construction of the Campus 5 underground parking structure.
- **February 2015** – Campus 5 – CUP amendment to allow for the construction of five (5) office buildings containing 1,600 new offices.
- **December 2019** – Plan Commission discussed the initial building and campus designs. They were encouraged by planting of trees and like the unique architecture.

The proposed buildings for Campus 5 Phase 2 require an amendment to Epic’s CUP and site plan approval.

**Planning Review:**

**Bulk Requirements:**

Similar to other buildings on the Campus, parts of Campus 5 Phase 2 buildings will be constructed over property lines. Epic has multiple buildings in the same situation. Epic

Conditional Use Permit and Site Plan  
Epic – Phase 2 of Campus 5

---

has begun reviewing their property lines, easements, dedications, and conditions on the existing plats, which is tentatively scheduled for approval in March of 2020. Staff has no concerns with the lot lines.

**Access:**

Employee vehicular access will occur in the previously approved Campus 5 parking structure by the use of free-flow parking ramps from Northern Lights Road. Employees will continue to access the campus by tunnels and skyways. Castaway will have a below grade connection to the parking ramp as well as a skyway to Mystery. Mystery is located on top of the existing underground parking structure and will have a skyway to Jules Verne, which is under construction. Staff has no concerns with access.

**Parking:**

As previously stated, Mystery will be located on top of the existing underground parking structure. Sufficient parking is provided within this structure and other parking facilities on the Campus. Staff has no concerns with the parking for Campus 5, as most vehicles will park in the 3,076 stall underground parking ramp.

**Drainage/Stormwater:**

New impervious surface of approximately 114,000 s.f. will be added as part of this project. The Applicant provided a detailed stormwater management plan. Staff has no concern at this time.

**Architecture:**

As with all the buildings on Epic’s Campus, the proposed buildings will be unique to the Epic campus. Mystery will contain metal shingle roof, stone, patina copper, and brick as depicted in Figure 2. Castaway will contain wood, corrugated metal roof, metal, and stone as depicted in Figure 3. Staff has no concerns with proposed building materials or designs.



Figure 2 - Mystery Building

Conditional Use Permit and Site Plan  
Epic – Phase 2 of Campus 5



Figure 3 - Castaway Building

**Conditional Use Permit Findings:**

The Applicant is requesting approval for an amendment to a Group Development, which is listed as a conditional use in the City's Zoning Ordinance. The Zoning Ordinance requires all conditional uses to fulfill general standards and specific standards for all CUP requests.

**General Standards Findings:**

1. *How is the proposed conditional use (in general) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or Chapter adopted, or under consideration pursuant to official notice by the City?*

The subject site is used for office purposes. The proposed buildings will provide additional office space for employees.

2. *How is the proposed conditional use (in its specific location) in harmony with the purposes, goals, objectives, policies and standards of the City of Verona Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?*

The proposed buildings are adjacent to Epic's corporate offices. The site is already served by public utilities and roadways.

3. *Does the conditional use, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted by the City or other governmental agency having jurisdiction to guide development?*

The proposed buildings are well served by existing and future roadways. Sensitive environmental areas such as steep slopes or wetlands have been protected in environmental corridors.

Conditional Use Permit and Site Plan  
Epic – Phase 2 of Campus 5

---

4. *Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?*

The proposed buildings will be an extension of the previously approved corporate campus and will maintain a consistency of land uses within the surrounding area.

5. *Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?*

The proposed buildings will not impose an undue burden on public facilities and services in the area as they are already provided.

6. *Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?*

The benefits of the proposed use outweigh any adverse impacts in the neighborhood.

**Specific Standards Findings:**

1. *All required off-street parking spaces and access drives shall be located entirely within the boundaries of the group development.*

This requirement has been met.

2. *The development shall contain a sufficient number of waste bins to accommodate all trash and waste generated by the land uses in a convenient manner.*

This requirement has been met.

3. *No group development shall take access to a local residential street.*

This requirement has been met.

4. *All development located within a group development shall be located so as to comply with setbacks of structures and buildings from lot lines.*

This requirement has been met.

**Recommendation:**

Staff recommends the following Plan Commission action:

Conditional Use Permit and Site Plan  
Epic – Phase 2 of Campus 5

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1. Recommend that the Common Council approve an amendment to Epic's group development conditional use permit to allow for the construction of two (2) office buildings on Campus 5.
2. Approve the site plan for two (2) office buildings on Campus 5 to be located at 1979 Milky Way.

**Prepared by:** Katherine Holt *KH*  
Community Development Specialist

**Submitted by:** Adam Sayre, AICP *AS*  
City Administrator

## **Epic Systems – Campus 5 Phase 2 Project Description**

Epic proposes to expand their existing corporate campus located at 1979 Milky Way – Verona. This proposed expansion, Campus 5 Phase 2, will add two new office buildings (Mystery and Castaway) to the existing Campus 5. These two buildings will add approximately 180,000 sf of floor space (approximately 90,000 square feet and 350 offices, each). When complete, Campus 5 will have a total of seven buildings and a combined area of approximately 700,000 sf of floor space

Mystery will be located on top of the existing underground parking structure (Campus 5 Ramp). It will be connected to Jules Verne (currently under construction) with a skyway. Castaway will be located just north of the Campus 5 Ramp. Castaway will have a below grade connection to the Parking Ramp as well as a skyway to Mystery.

There are no new exterior areas for trash or recycling. Refuse will to be handled internally and directed to existing screened facilities on the Epic Campus.

The existing Campus 5, office buildings and parking structure, are surrounded by utilities and fire access. Alice, Oz, Chocolate Factory, and Grimm are already occupied with Jules Verne under construction. The two proposed structures will be served by the existing facilities.

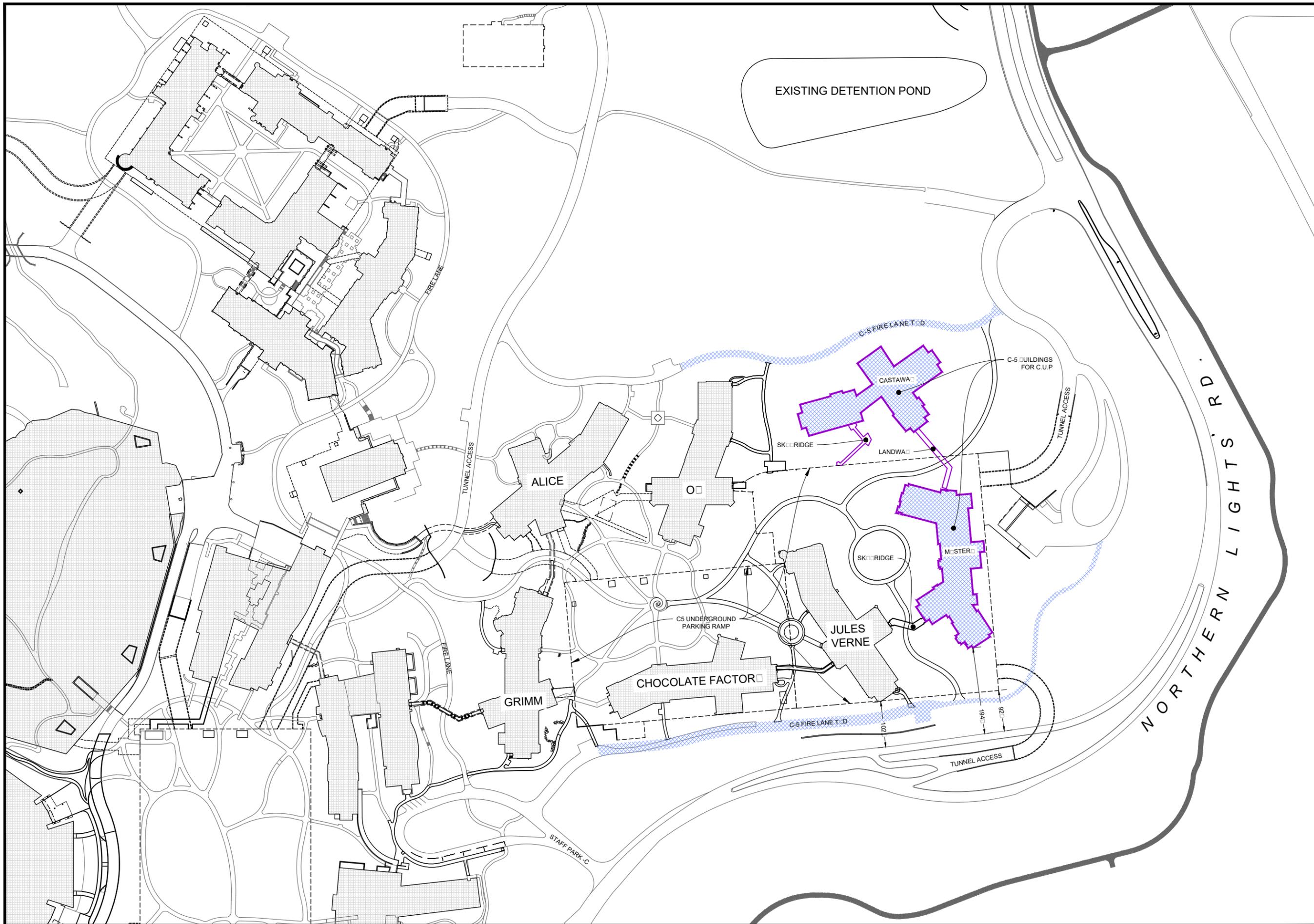
With approval of the proposed design, Mystery construction is expected to begin in 2020 with Castaway to follow in 2021.

Mystery and Castaway will use quality exterior materials similar to other Campus 5 buildings. Similarly, each building will be uniquely landscaped to a level that is in-line with the surrounding Epic campuses.

The last stormwater plan from 07-27-2015 included additional impervious square footage. The proposed Campus 5 expansion (Mystery and Castaway) and approximately 48,000 square feet of hardscape (firelane, minor surface parking, and sidewalks) had been previously accounted for in the approved stormwater management plan.

Epic will continue to pursue down lighting at building entrances and employee paths with emphasis on minimizing light pollution.





**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7550 Wavered Way, Madison, WI 53717  
 Phone: 608.895.7550 • Fax: 608.899.1089  
**YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT**

SITE PLAN  
**CAMPUS - 5 PHASE-II**  
 C.U.P. AMENDMENT

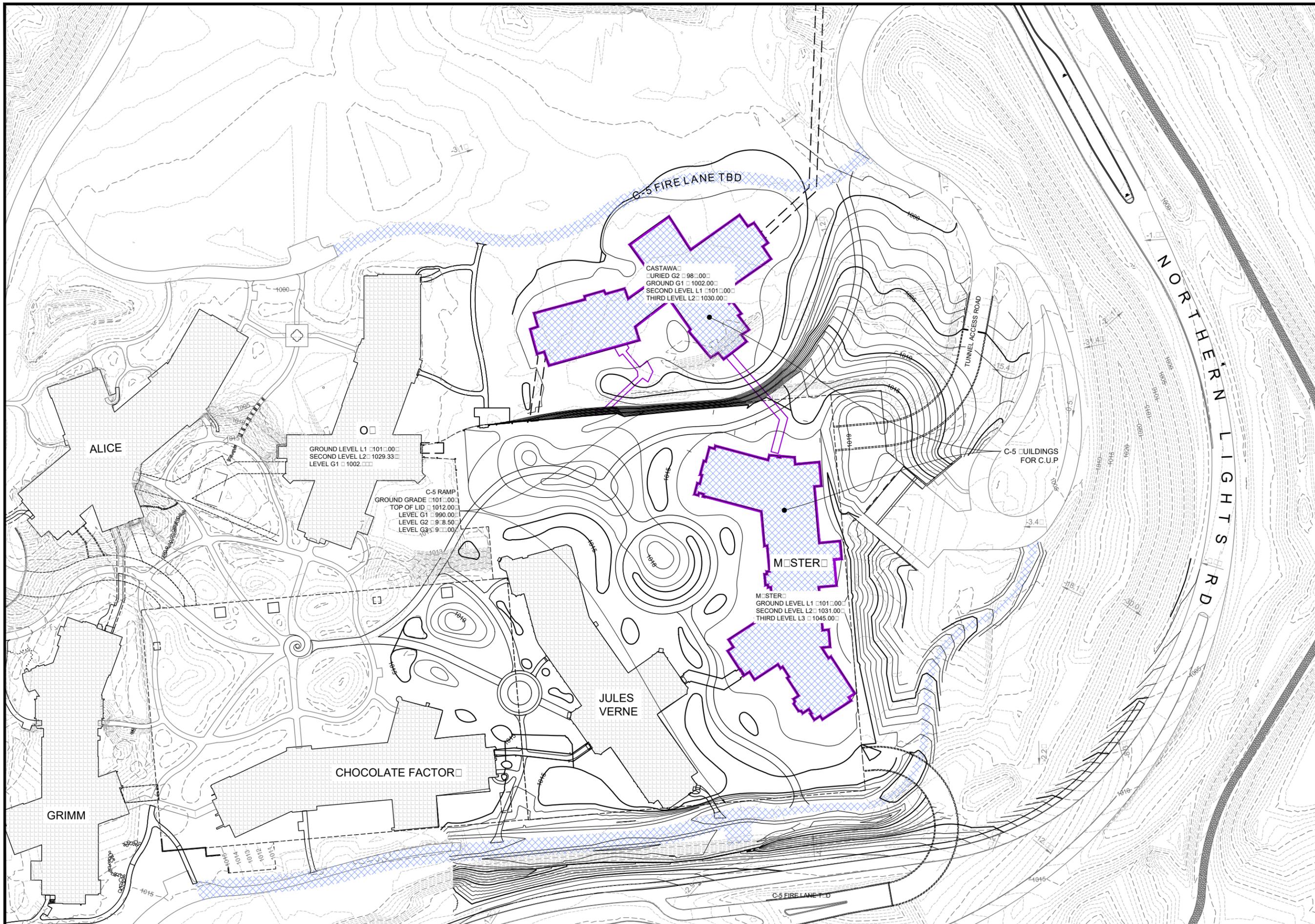
CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 10-15-19  
 REVISED: REV # DR #

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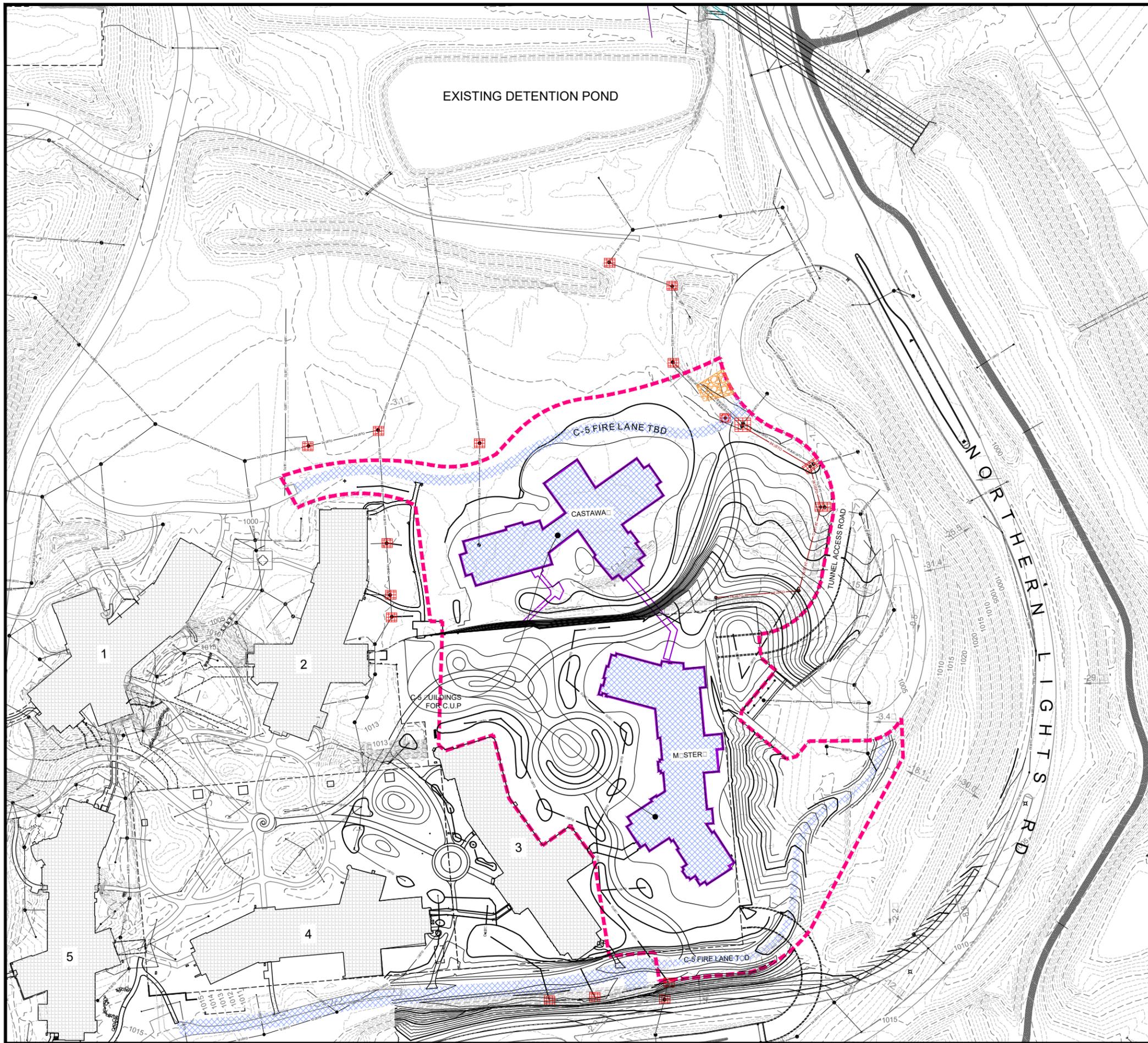
GRADING PLAN  
**CAMPUS - 5 PHASE-II**  
 C.U.P. AMENDMENT  
 CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 10-15-19  
 REVISED: REV # DR #

DRAWN BY: YM

Sheet Number:  
**CS-101**



- PROJECT LEGEND**
- PROPOSED CONTOURS
  - EXISTING CONTOURS
  - SILT SOCK DIA. 8" MIN.
  - DISTURBED AREA
  - CONSTRUCTION ENTRANCE
  - INLET PROTECTION
- AREA OF DISTURBANCE 4,905 SF 11.4C
- GRADING AND EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
  2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDRN TECHNICAL STANDARDS.
  3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE ONCE PER WEEK MINIMUM TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
    - NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
    - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
  8. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CULVERT. 2:1 SLOPES IN THIS AREA SHOULD BE STABILIZED USING CLASS I, TYPE II EROSION MAT.
  9. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE II EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE II EROSION MATTING.
  10. ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
  11. ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
  12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  13. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
  14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 S.F. ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 S.F. SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
  15. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDRN STORM WATER MANAGEMENT TECHNICAL STANDARD 10.1.
  16. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.

EROSION CONTROL PLAN

**CAMPUS - 5 PHASE-II**  
C.U.P. AMENDMENT

CITY OF VERONA, DANE COUNTY, WISCONSIN

DATE: 10-15-19  
REVISED: REV # DR #

DRAWN BY: YM

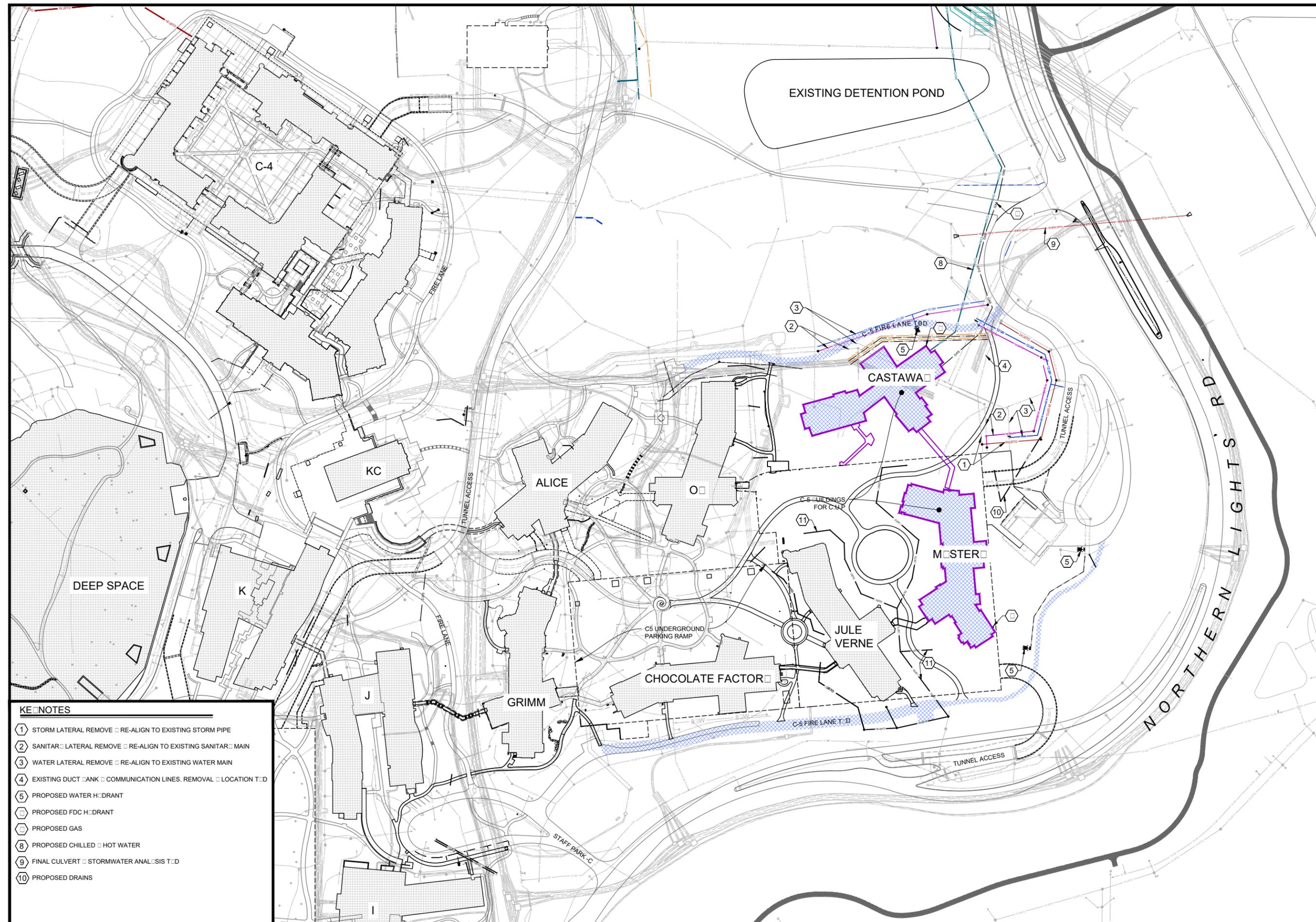
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EC-201



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DRAWN BY: YM

Sheet Number:  
**CU-401**



- KEY NOTES**
- 1 STORM LATERAL REMOVE □ RE-ALIGN TO EXISTING STORM PIPE
  - 2 SANITARY LATERAL REMOVE □ RE-ALIGN TO EXISTING SANITARY MAIN
  - 3 WATER LATERAL REMOVE □ RE-ALIGN TO EXISTING WATER MAIN
  - 4 EXISTING DUCT BANK □ COMMUNICATION LINES. REMOVAL □ LOCATION T.D.
  - 5 PROPOSED WATER H.DRANT
  - 6 PROPOSED FDC H.DRANT
  - 7 PROPOSED GAS
  - 8 PROPOSED CHILLED □ HOT WATER
  - 9 FINAL CULVERT □ STORMWATER ANALYSIS T.D.
  - 10 PROPOSED DRAINS



CAMPUS 5 - PHASE 2  
BUILDING ADDITIONS  
(THIS SUBMITTAL)

CASTAWAY

MYSTERY

CAMPUS 5

CAMPUS 4

DEEP SPACE

CAMPUS 2

EXISTING CAMPUS 5  
PARKING STRUCTURE  
BELOW GRADE -  
SHOWN DASHED

NORTHERN LIGHTS

HUBBLE ROAD





SKYBRIDGE

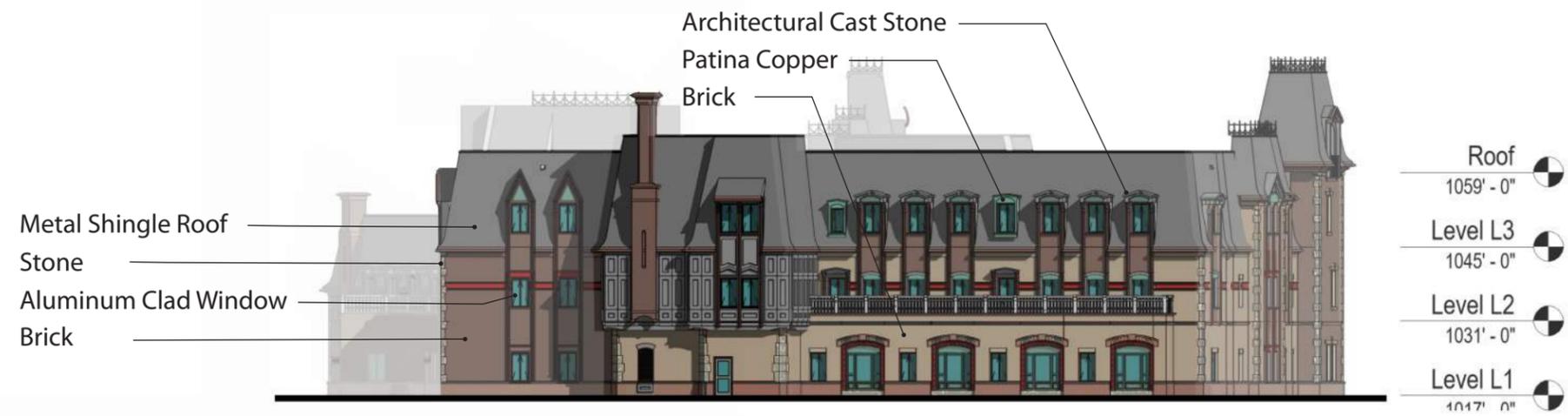
CAMPUS 5B PHASE 2  
BUILDING ADDITIONS  
(THIS SUBMITTAL)

LANDWAY

SKYBRIDGE

EXISTING CAMPUS 5 PARKING  
STRUCTURE BELOW GRADE





North Elevation

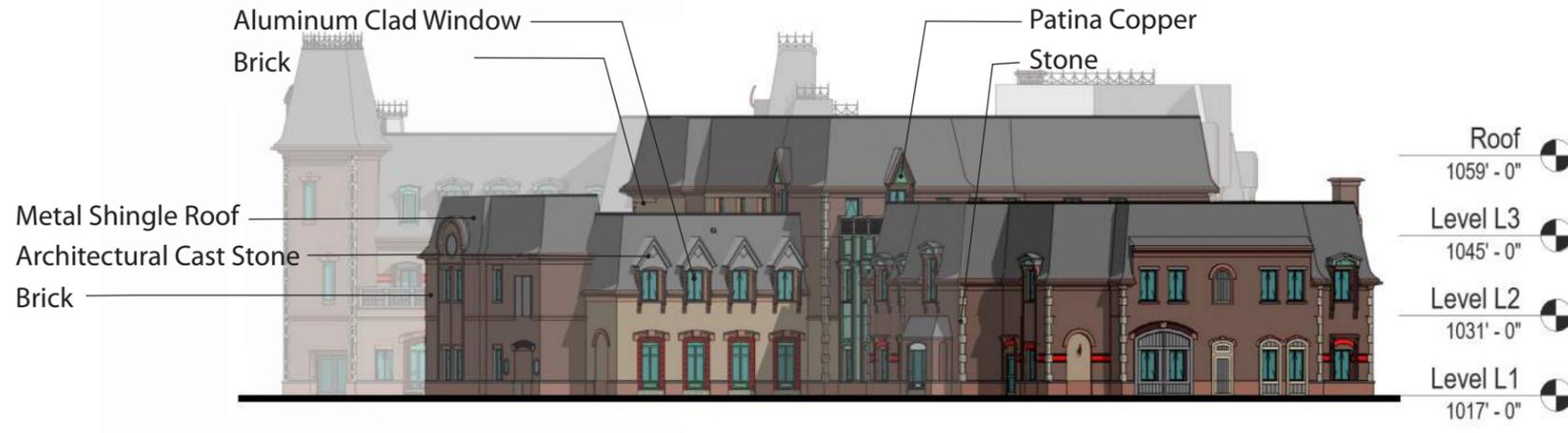
Scale 1:30



West Elevation

Scale 1:30



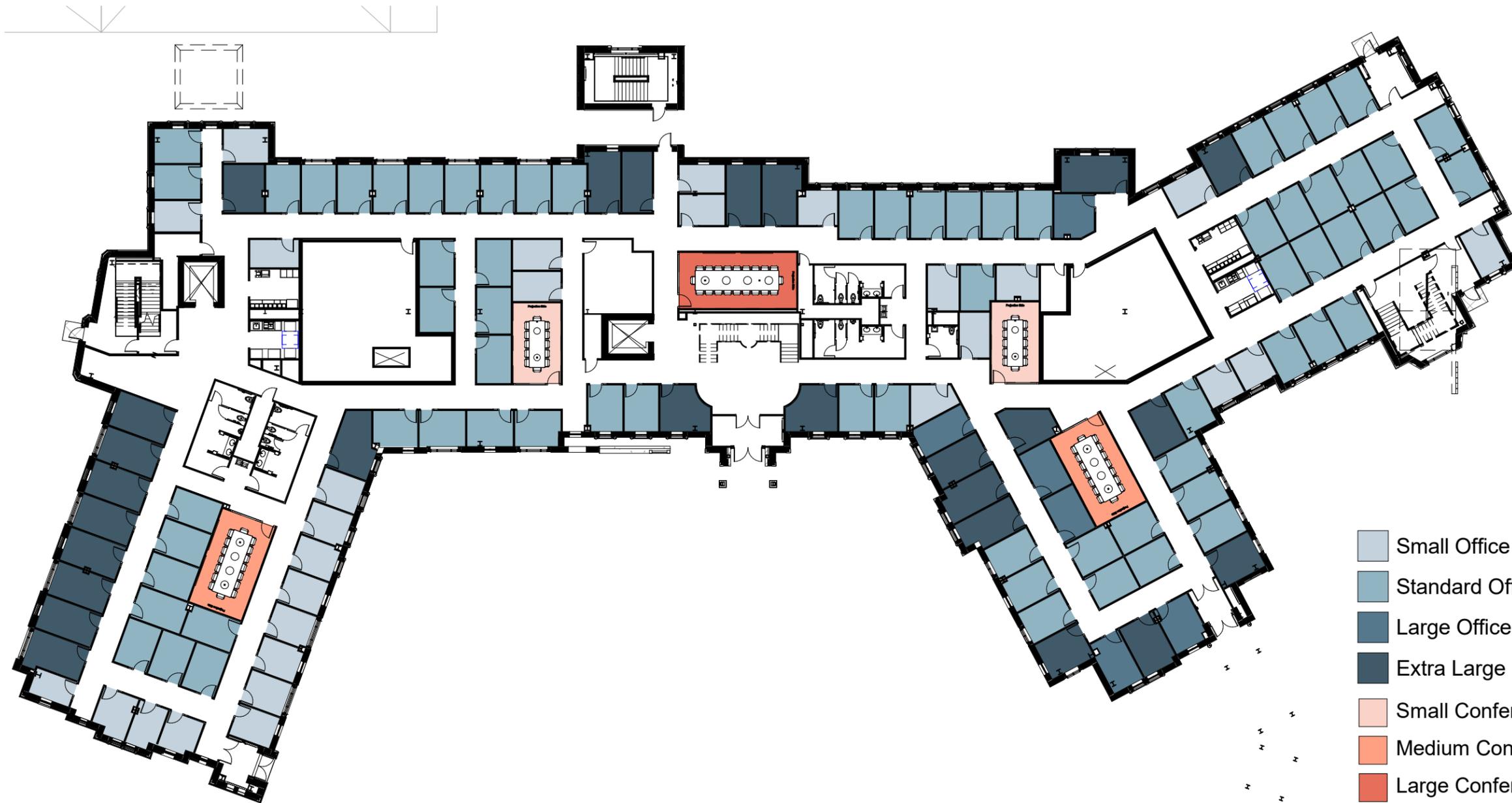


South Elevation  
Scale 1:30



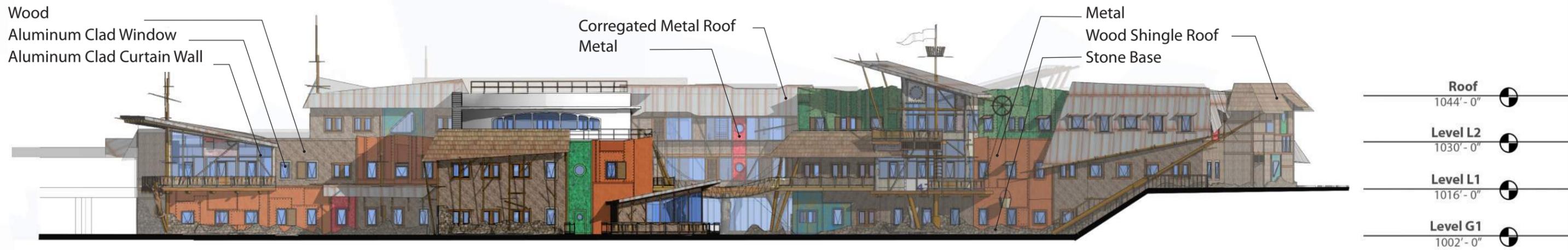
East Elevation  
Scale 1:30





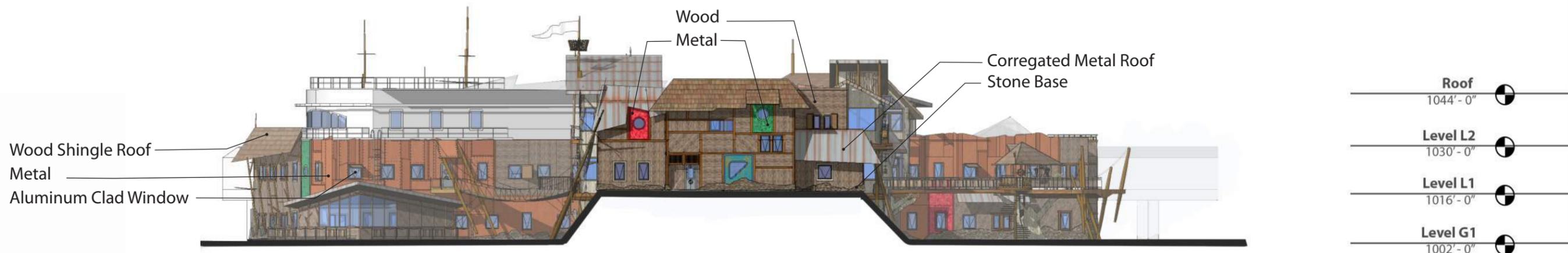
- Small Office  $> - 5\%$
- Standard Office  $\pm 5\%$
- Large Office  $+5 - 10\%$
- Extra Large Office  $> + 10\%$
- Small Conference
- Medium Conference
- Large Conference





North Elevation

Scale 1:30



West Elevation

Scale 1:30





South Elevation

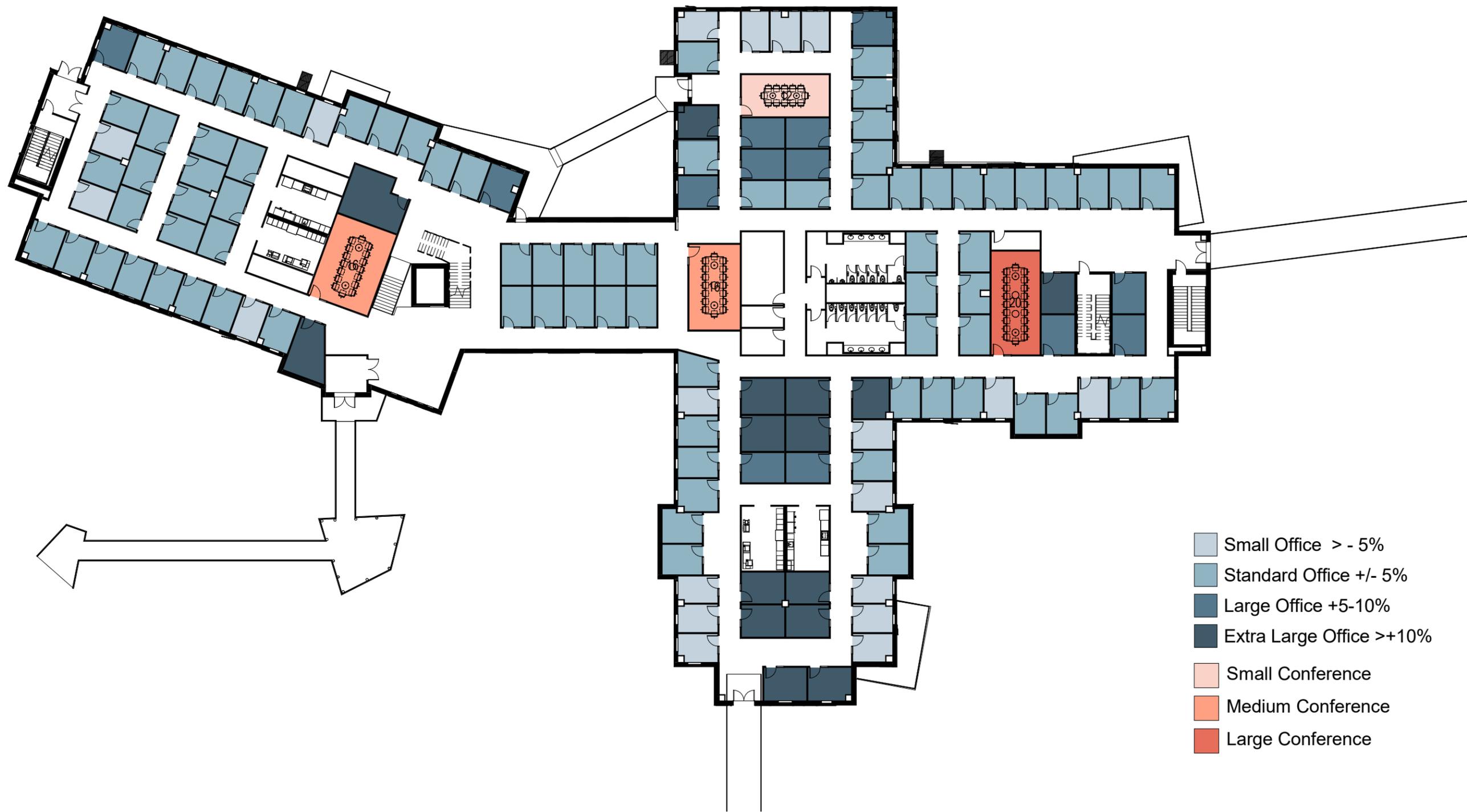
Scale 1:30



East Elevation

Scale 1:30





- Small Office > - 5%
- Standard Office +/- 5%
- Large Office +5-10%
- Extra Large Office >+10%
- Small Conference
- Medium Conference
- Large Conference





# Planning Report

City of Verona

Plan Commission 1-6-2020

## Northern Lights Substation

### Site Plan Review

**Summary:** The Applicant is requesting a site plan review to construct a switchgear building as part of an electrical substation to meet growing energy needs. The proposed building requires site plan approval as the substation is permitted by right.

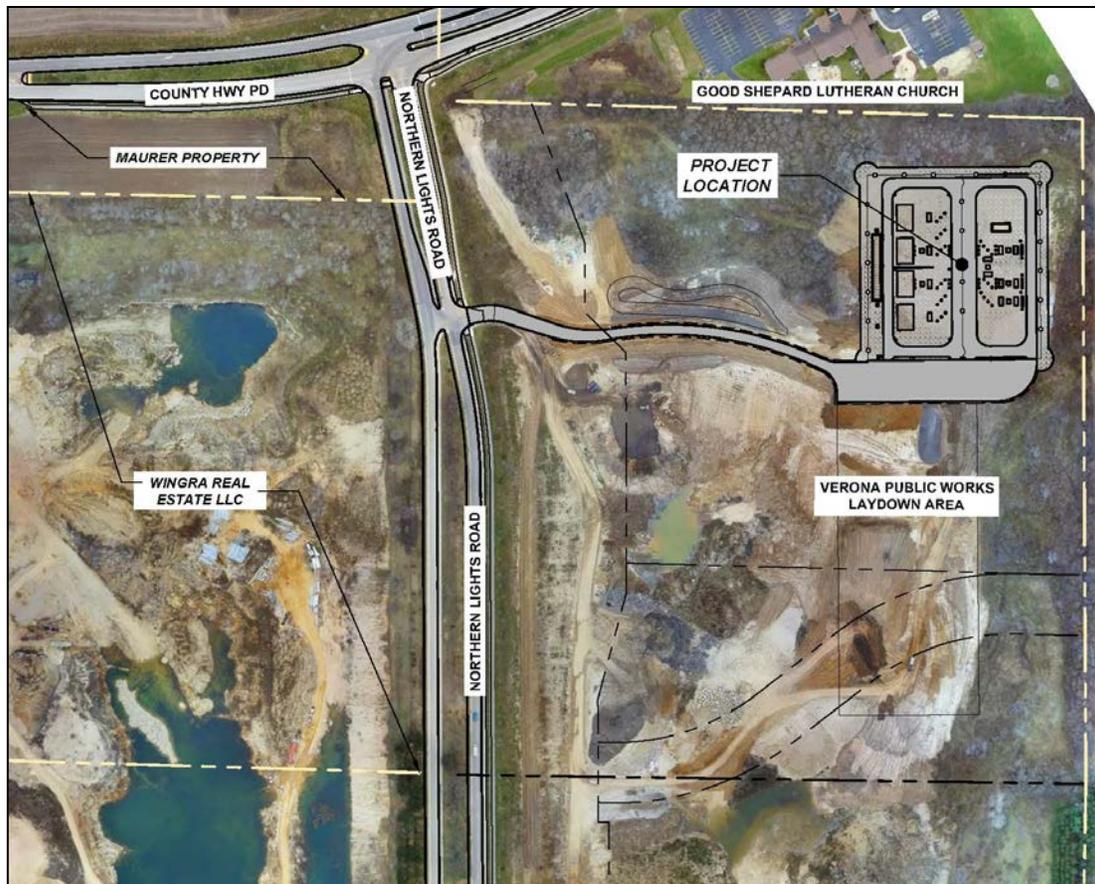
**Property Location:** 850 Northern Lights Road

**Property Owner:** City of Verona  
111 Lincoln Street  
Verona, WI 53593

**Applicant:** Epic Systems Corporation  
1979 Milky Way  
Verona, WI 53593

**Existing Zoning:** Rural Agriculture (RA)  
**Existing Land Use:** Former non-metallic mine  
**Proposed Land Use:** Substation with building

**Figure 1 – Location Map**



# Site Plan Northern Lights Substation

## **Site Description:**

American Transmission Company (ATC) and Epic Systems Corporation (Epic) have determined a need for an electrical substation to meet the growing energy demand and expand their future energy services.

850 Northern Lights Road (Property) contains the former stone quarry and is currently vacant. The Applicant is proposing a substation to be shared by both entities on City of Verona land. Land uses surrounding the Property includes Good Shepard Evangelical Lutheran Church to the north, vacant land to the east, but was conditionally approved for single-family homes, vacant land (former stone quarry) to the south, and Northern Lights Road to the west.

The switchgear building requires site plan review as the substation is permitted by right.

## **Planning Review:**

### **Bulk Requirements and Access:**

The proposed building, in red in Figure 2, exceeds the minimum setback requirements, which are met. Staff is comfortable with the building location. Access to the site will continue from an existing entrance from Northern Lights Road. Staff has no concerns with access.

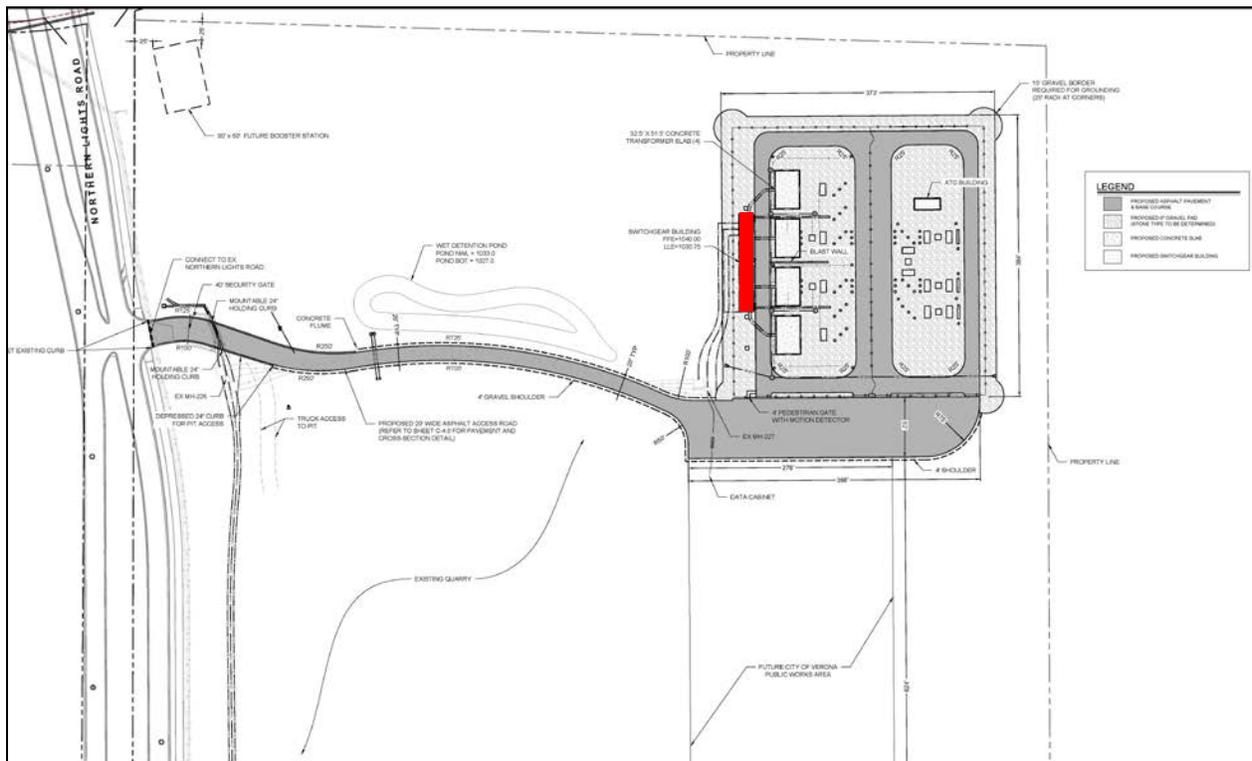


Figure 2 - Proposed building

Site Plan  
Northern Lights Substation

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**Drainage/Stormwater:**

The Applicant has stated in the narrative that the land disturbance will be in excess of 1-acre. The Applicant is proposing stormwater improvements that consist of drainage swales that connect to a wet detention pond. Staff has no concern at this time.

**Design:**

The proposed building will be a 26-foot by 134-foot one-story ATC standard gray metal building as depicted in Figure 3. Entry and exit doors will be white and there are no windows proposed for the building. Staff has no concern with the design of the building as this is a substation and the building design should not attract attention.

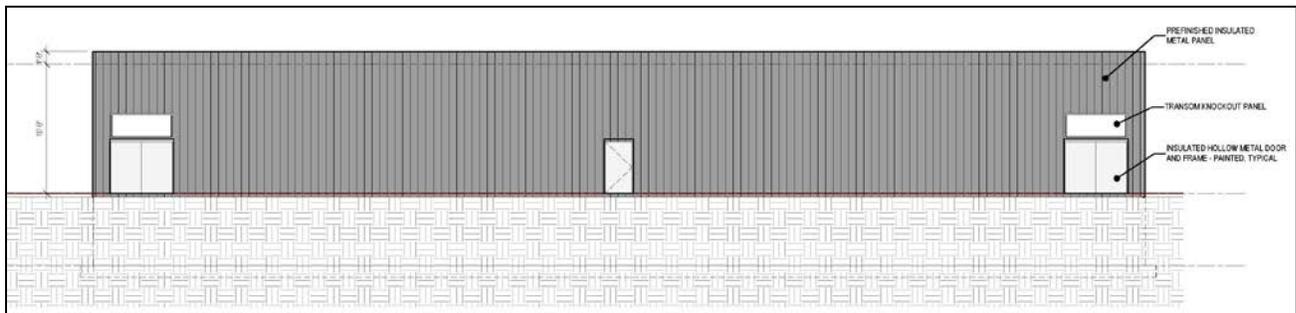


Figure 3 - Building rendering

**Landscape and Lighting:**

A landscaping plan was submitted by the Applicant. The substation will be screened by existing vegetation and plants to the west, north, and east. There is a gap in the existing vegetation to the east where the Applicant proposes to plant eight (8) Eastern White Pines. The Applicant has met with Good Shepard Lutheran Church regarding this project. From those discussions, an existing berm would be expanded and planted with tall pines to create a buffer from the views and noise of the substation. Plantings are proposed on the south side of the substation with a berm as depicted in Figure 4. The Applicant is still making modifications to the landscaping for the southern portion of the substation and is continuing to coordinate with the City and ATC. Staff has no concerns with landscaping at this time.

# Site Plan Northern Lights Substation



Figure 4 - Modifications to the proposed landscaping plan in the packet.

A lighting plan was submitted as part of the Application. All lighting is within the acceptable range for the Property. The lighting does not affect the neighboring properties as it is 0 footcandles at the property lines, while the zoning ordinance allows 0.4 footcandles at the property lines. The Applicant has gone beyond the ordinance requirements for reducing impacts to the neighboring properties.

## **Recommendation:**

Staff recommends the Plan Commission approve the site plan to allow for the construction of a 3,484 square foot switchgear building located at 850 Northern Lights Road.

**Prepared by:** Katherine Holt *KH*  
Community Development Specialist

**Submitted by:** Adam Sayre, AICP *AS*  
City Administrator

## **Northern Lights Substation - CUP Narrative**

### **Purpose**

Epic Systems Corporation (Epic) has determined the need for an electrical substation to meet the growing energy demand required by future campus expansions. The substation will also be utilized by American Transmission Co. (ATC) to expand their energy facilities and services. Epic and ATC will share ownership of the facilities and easements will be granted to construct the substation on City of Verona owned land. The substation will be properly screened from public view and access will be limited to qualified personnel. Based on the current ownership and zoning, the substation is an allowable use. Construction will be a collaboration of Graef-USA, JP Cullen and Sons Inc, The Morse Group, D'Onofrio Kottke and Associates Inc. and others.

### **Location**

The substation will be located on land owned by the City of Verona, SE of the intersection of Northern Lights Rd and County Hwy PD. The vacant land was historically a stone quarry and is currently vacant. A 20' wide, paved access road will be constructed to connect the substation to Northern Lights Road, 500 ft south of the intersection with County Hwy PD. The access road will also serve a future public works facility planned south of the substation.

### **Lighting and Sound Screening**

At the onset of the project, screening the substation from neighboring properties was identified as a sensitive issue and was prioritized in the design. Representatives from Epic and the design team met with members of Good Shepard Lutheran Church, neighbors to the north, to determine the required screening to block unsightly views of the electrical equipment. It was agreed the existing berm would be expanded and planted with tall pines. In addition to visually screening the electrical equipment, the earthen berm would provide noise reduction. At the planned operation of 30MVA, the sound generated by the substation will be 50 dB when measured at the north and south fence line.

Screening was also considered from the view of Northern Lights Road. There is a berm along the east side of the road that was installed as part of the road construction. The berm can remain as long as the City desires. In the future, the land will be redeveloped, and views may change, but for the construction of the substation, the existing screening berm is helpful.

A photometric plan for the gravel pad was created using the City guidelines for minimal exterior lights except those required to meet safe work requirements during operation of the substation. The photometric plan indicates a measurement of 0 foot-candles of light at the property line. Therefore, there is not a concern of nuisance, spill-over light for the adjacent properties.

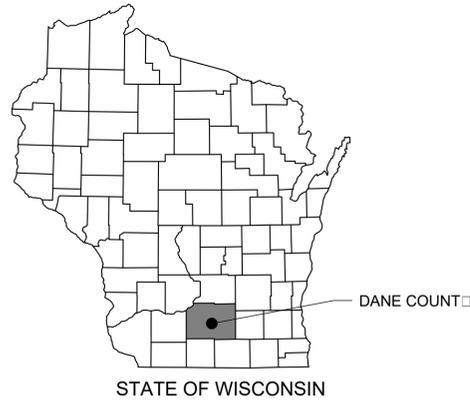
### **Landscape**

Epic will provide landscape to meet City requirements by planting trees around the gravel pad area. The landscaping will be carried out by Epic's in-house horticulture team with assistance and guidance from consulting Landscape Architects and any requests from City staff.

### **Stormwater**

The Northern Lights Substation will be developed in accordance with the applicable City of Verona and WDNR stormwater and erosion control standards. Because the site operated as a quarry, all land within the construction area has been previously disturbed. Land disturbance for this project will be in excess

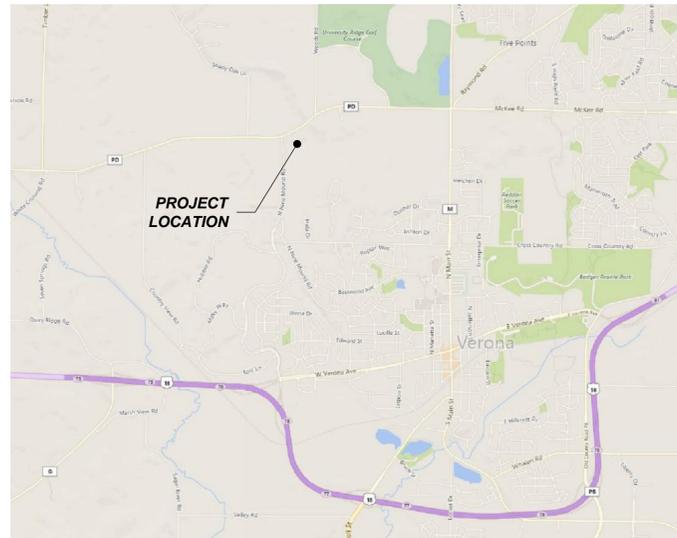
of 1-acre and will add a cumulative 20,000 SF of impervious area. Proposed impervious features include a gravel pad (375' x 385'), a switchgear building (2,335 SF), and a paved access road. Stormwater improvements for the substation consist of drainage swales around the perimeter of the gravel pad that are tributary to a 1.50 acre-ft wet detention located north of the access road. The pond is designed to collect tributary flows from the access road, gravel pad, and surrounding vegetated areas. The pond outflows south of the access road at an elevation suitable for future development of the parkland.



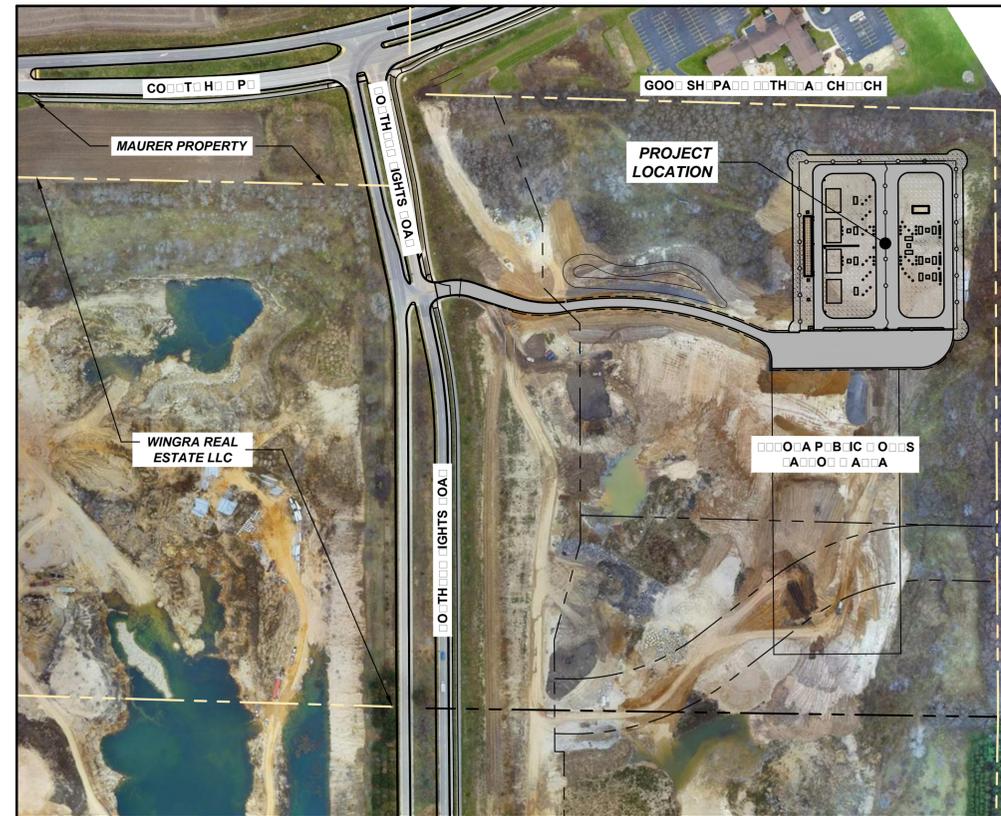
**Epic** - 2019

# NORTHERN LIGHTS SUBSTATION

CITY OF VERONA  
DANE COUNTY, WISCONSIN



PROJECT LOCATION MAP



PROJECT OVERVIEW  
SCALE 1"=200'

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Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	OVERALL LAYOUT PLAN
C-1.1	SUBSTATION PAD LAYOUT PLAN
C-1.2	EASEMENT EXHIBIT
C-2.0	OVERALL GRADING PLAN
C-2.1	SUBSTATION PAD GRADING PLAN
C-3.0	OVERALL UTILITY PLAN
C-3.1	SUBSTATION PAD UTILITY PLAN
C-4.0	CONSTRUCTION DETAILS
C-5.0	LANDSCAPE PLAN
L-1.0	PHOTOMETRIC PLAN
S-1.0A	LOWER LEVEL LAYOUT PLAN
S-1.1A	FIRST FLOOR LAYOUT PLAN
S-3.0	BUILDING ELEVATIONS
S-3.1	SUBSTATION RENDERINGS

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COVER SHEET

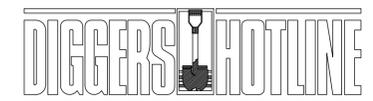
**EPIC - 2019**

NORTHERN LIGHTS SUBSTATION

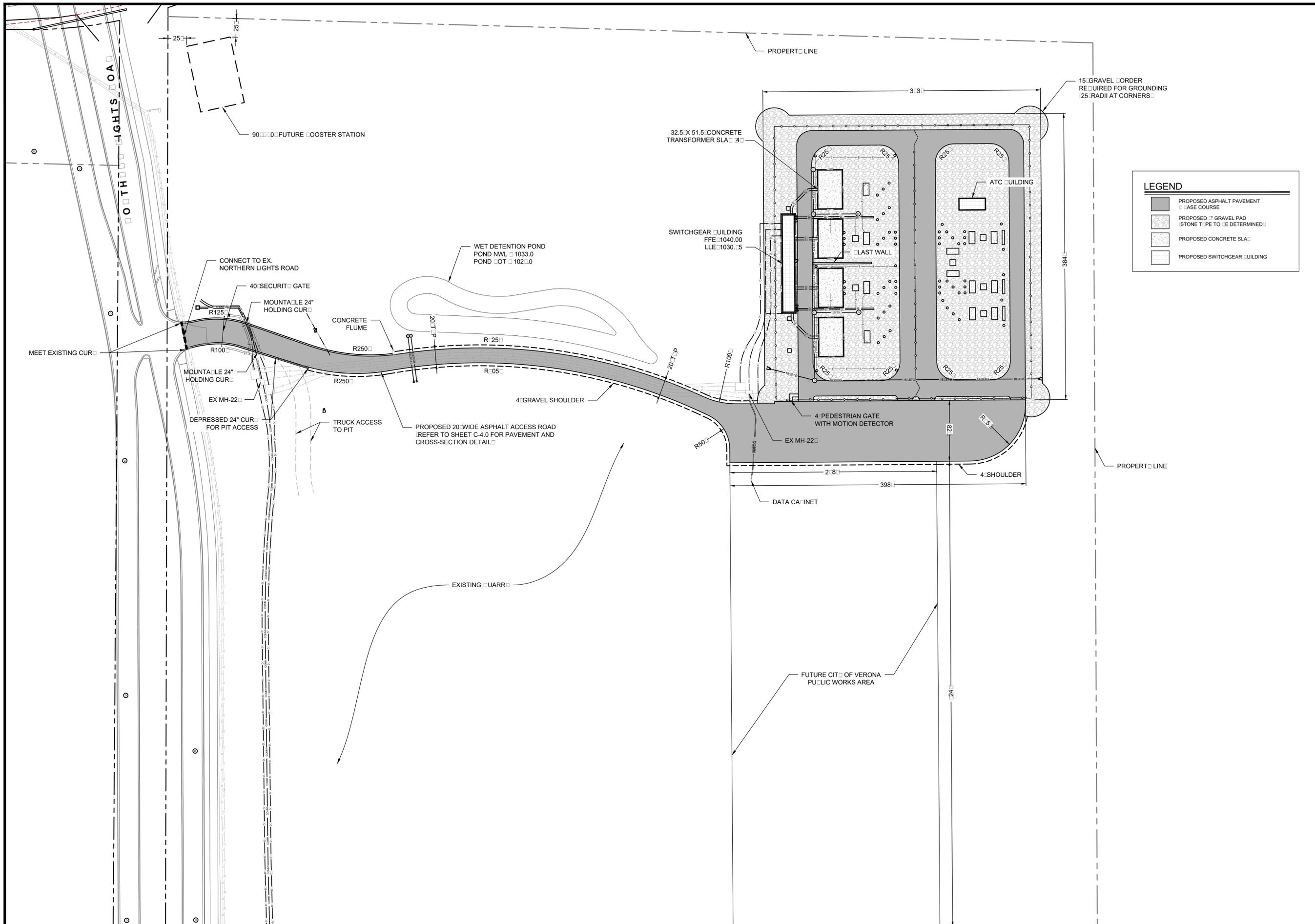
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**LEGEND**

[Pattern]	PROPOSED ASPHALT PAVEMENT
[Pattern]	CASE COURSE
[Pattern]	PROPOSED 1" GRAVEL PAD (STONE TYPE TO BE DETERMINED)
[Pattern]	PROPOSED CONCRETE SLAB
[Pattern]	PROPOSED SWITCHGEAR BUILDING

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OVERALL LAYOUT PLAN

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NORTHERN LIGHTS SUBSTATION

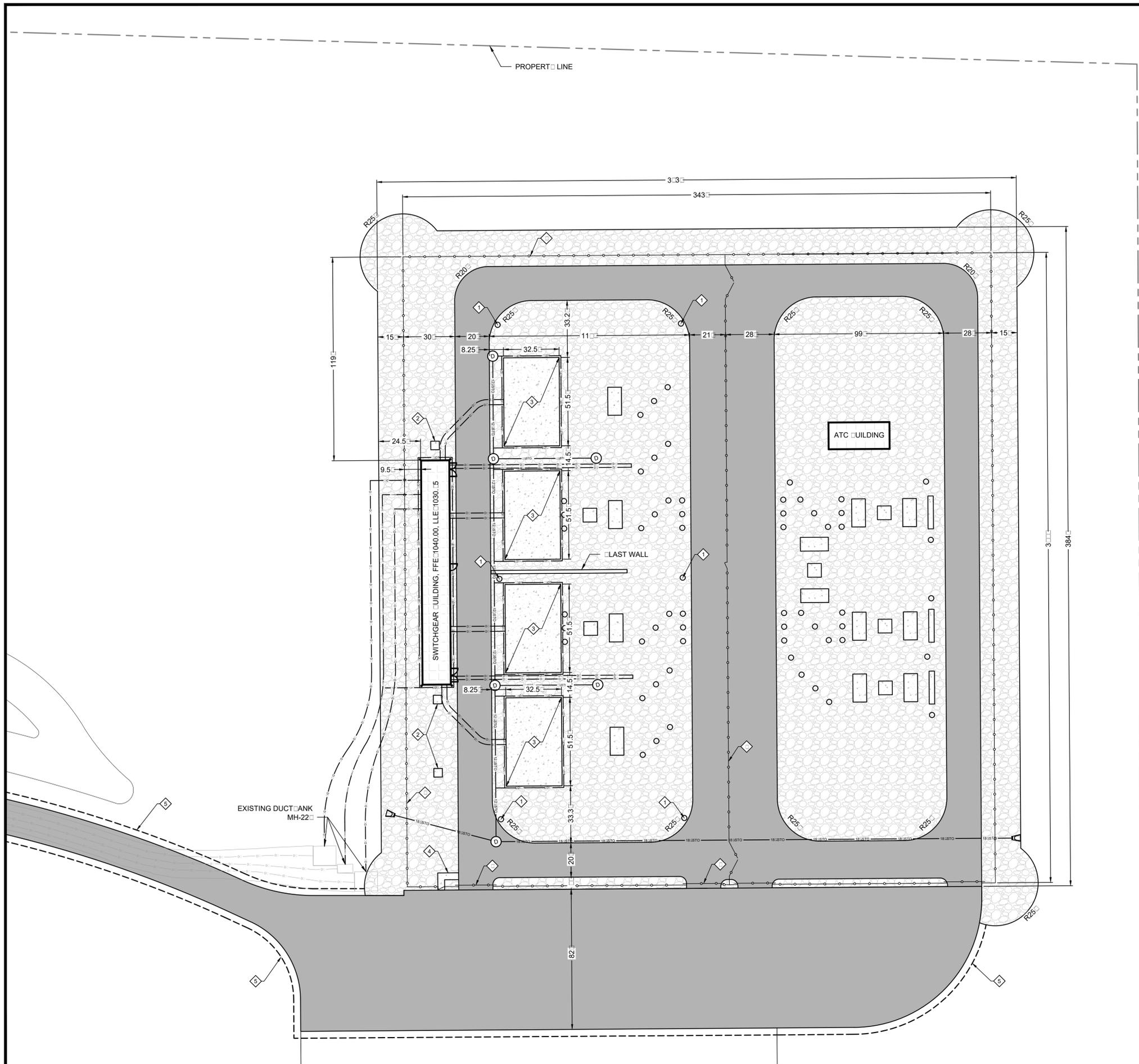
CITY OF VERONA, DANE COUNTY, WISCONSIN

0 100'

DATE: 11/22/2019  
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**C-1.0**



- KEYNOTES**
- ◇ CONCRETE BASE FOR POLE MOUNTED LED FIXTURE (CREE EDGE SERIES, ARE-EHO-4M-HV-24-E-UL-SV-1000-DIM)
  - ◇ CONCRETE PAD FOR SWITCHGEAR BUILDING TRANSFORMER
  - ◇ CONCRETE PAD FOR TRANSFORMER
  - ◇ 4" CONCRETE SIDEWALK
  - ◇ 4" GRAVEL SHOULDER
  - ◇ SECURITY FENCE (REFER TO SHEET C-4.0)
  - ◇ SECURITY FENCE CANTILEVER GATE

- LEGEND**
- PROPOSED ASPHALT PAVEMENT
  - BASE COURSE
  - ▨ PROPOSED GRAVEL PAD (STONE TYPE TO BE DETERMINED)
  - ▩ PROPOSED CONCRETE SLAB
  - ▧ PROPOSED SWITCHGEAR BUILDING

- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF VERONA STANDARD SPECIFICATIONS.
  2. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  3. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.
  4. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  5. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF VERONA'S PAVEMENT PATCHING CRITERIA.

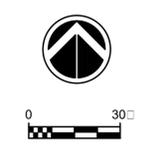
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SUBSTATION PAD LAYOUT PLAN

**EPIC - 2019**

NORTHERN LIGHTS SUBSTATION

CITY OF VERONA, DANE COUNTY, WISCONSIN



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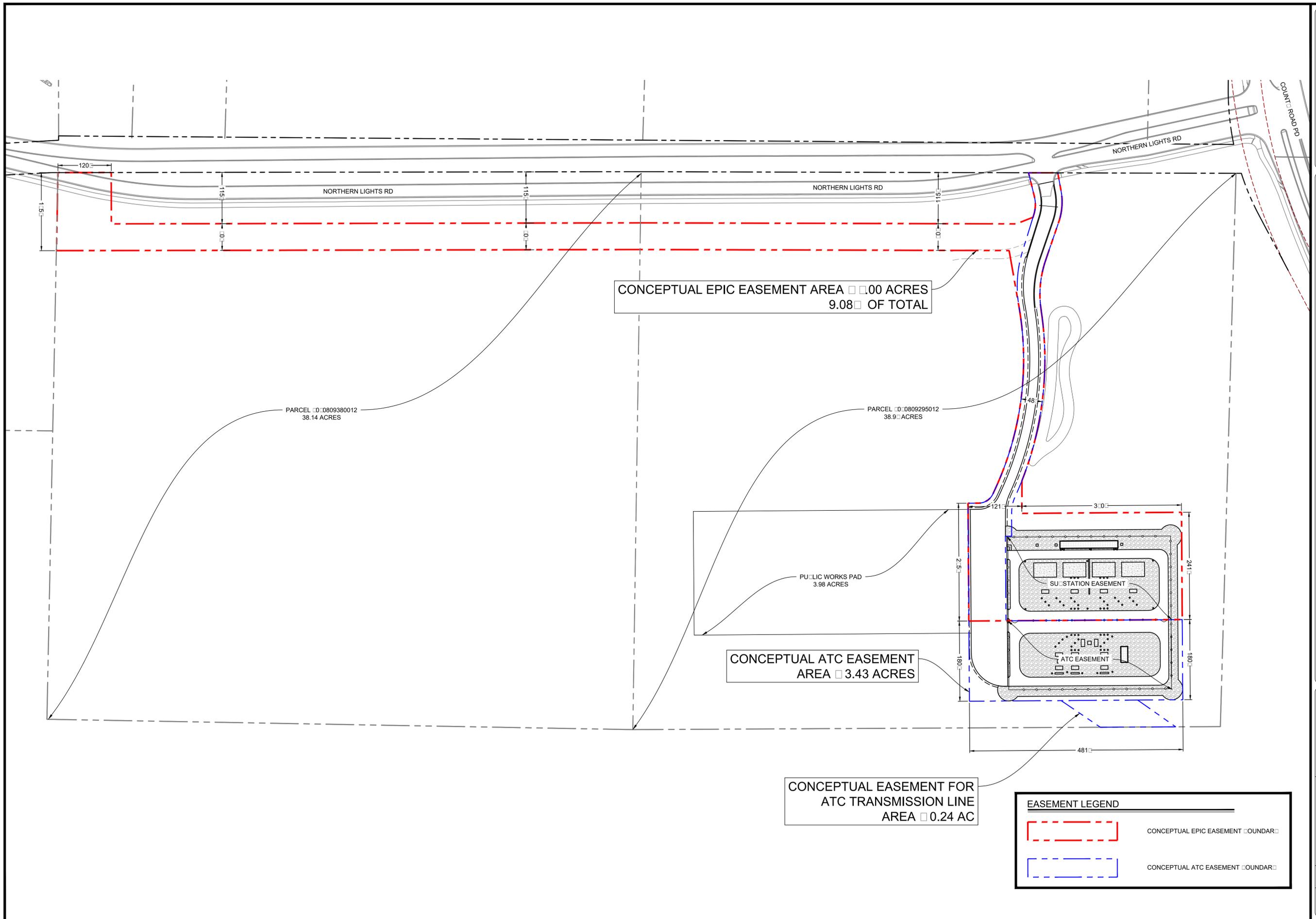
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 Sheet Number:



CONCEPTUAL EPIC EASEMENT AREA 9.08 ACRES  
 9.08 OF TOTAL

PARCEL 0809380012  
 38.14 ACRES

PARCEL 0809295012  
 38.9 ACRES

PUBLIC WORKS PAD  
 3.98 ACRES

CONCEPTUAL ATC EASEMENT  
 AREA 3.43 ACRES

CONCEPTUAL EASEMENT FOR  
 ATC TRANSMISSION LINE  
 AREA 0.24 AC

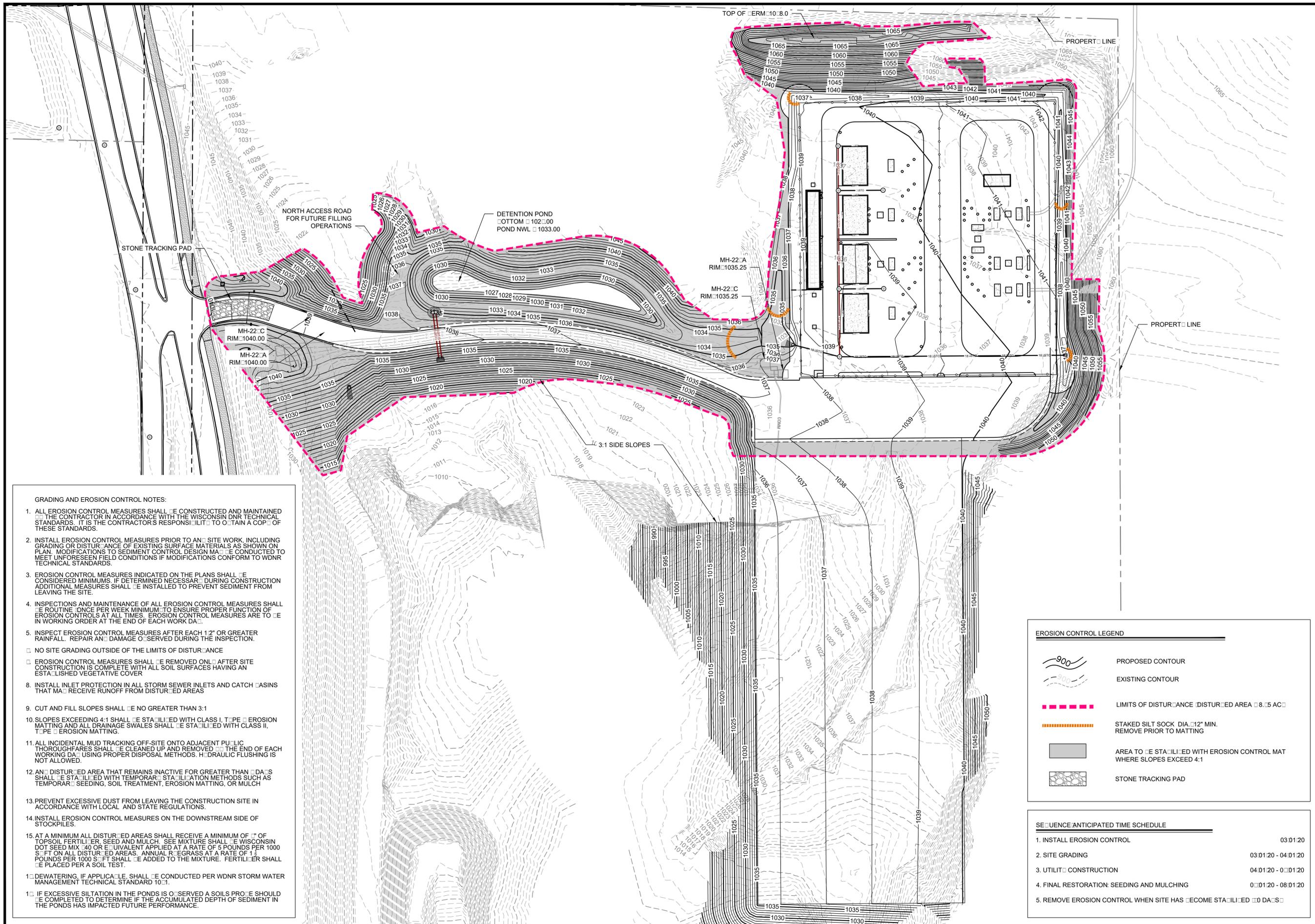
EASEMENT LEGEND	
	CONCEPTUAL EPIC EASEMENT BOUNDARY
	CONCEPTUAL ATC EASEMENT BOUNDARY



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**C-2.0**



**GRADING AND EROSION CONTROL NOTES:**

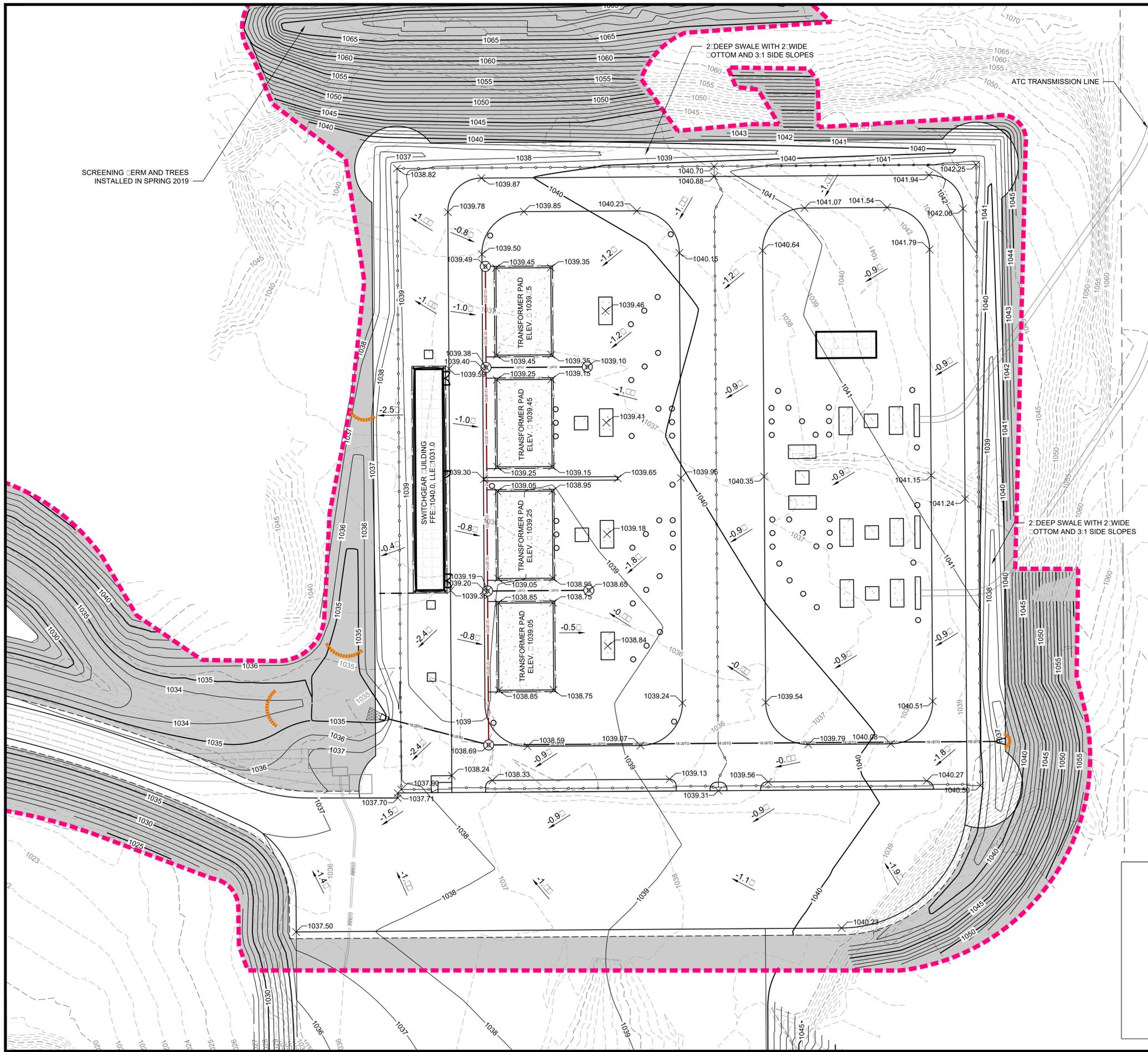
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE II EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE II EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED TO THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS. HYDRAULIC FLUSHING IS NOT ALLOWED.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROL MEASURES ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 1/2" OF TOPSOIL FERTILIZER SEED AND MULCH. SEE MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 S<sup>2</sup> FT ON ALL DISTURBED AREAS. ANNUAL REGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 S<sup>2</sup> FT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
- 1 □ DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 10.1.
- 1 □ IF EXCESSIVE SILTATION IN THE PONDS IS OBSERVED A SOILS PROBE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE PONDS HAS IMPACTED FUTURE PERFORMANCE.

**EROSION CONTROL LEGEND**

	PROPOSED CONTOUR
	EXISTING CONTOUR
	LIMITS OF DISTURBANCE (DISTURBED AREA 8.5 AC)
	STAKED SILT SOCK (DIA. 12" MIN. REMOVE PRIOR TO MATTING)
	AREA TO BE STABILIZED WITH EROSION CONTROL MAT WHERE SLOPES EXCEED 4:1
	STONE TRACKING PAD

**SEQUENCE/ANTICIPATED TIME SCHEDULE**

1. INSTALL EROSION CONTROL	03.01.20
2. SITE GRADING	03.01.20 - 04.01.20
3. UTILITY CONSTRUCTION	04.01.20 - 07.01.20
4. FINAL RESTORATION: SEEDING AND MULCHING	07.01.20 - 08.01.20
5. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED	08.01.20



SCREENING BERM AND TREES  
INSTALLED IN SPRING 2019

2' DEEP SWALE WITH 2' WIDE  
BOTTOM AND 3:1 SIDE SLOPES

ATC TRANSMISSION LINE

2' DEEP SWALE WITH 2' WIDE  
BOTTOM AND 3:1 SIDE SLOPES

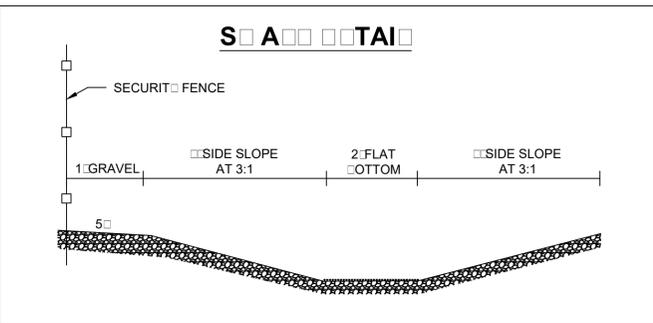
**EROSION CONTROL LEGEND**

- PROPOSED CONTOUR
- EXISTING CONTOUR
- LIMITS OF DISTURBANCE (DISTURBED AREA) 8.5 AC
- STAKED SILT SOCK DIA. 12" MIN. REMOVE PRIOR TO MATTING
- AREA TO BE STABILIZED WITH EROSION CONTROL MAT WHERE SLOPES EXCEED 4:1
- STONE TRACKING PAD

**SEQUENCE ANTICIPATED TIME SCHEDULE**

1. INSTALL EROSION CONTROL	03/01/20
2. SITE GRADING	03/01/20 - 04/01/20
3. UTILTY CONSTRUCTION	04/01/20 - 05/01/20
4. FINAL RESTORATION: SEEDING AND MULCHING	05/01/20 - 08/01/20
5. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED	08/01/20

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SUBSTATION PAD GRADING PLAN  
**EPIC - 2019**  
NORTHERN LIGHTS SUBSTATION  
CITY OF VERONA, DANE COUNTY, WISCONSIN

0 30'

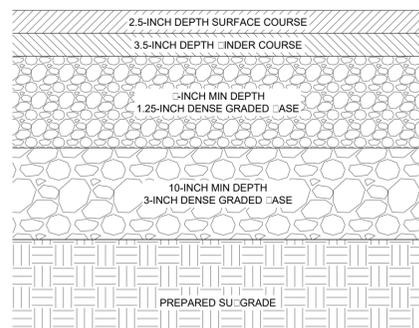
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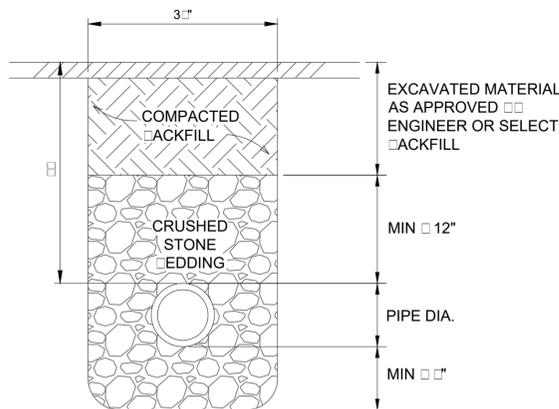






0" BITUMINOUS PAVEMENT  
 - 2.5" SURFACE COURSE  
 - 3.5" UNDER COURSE

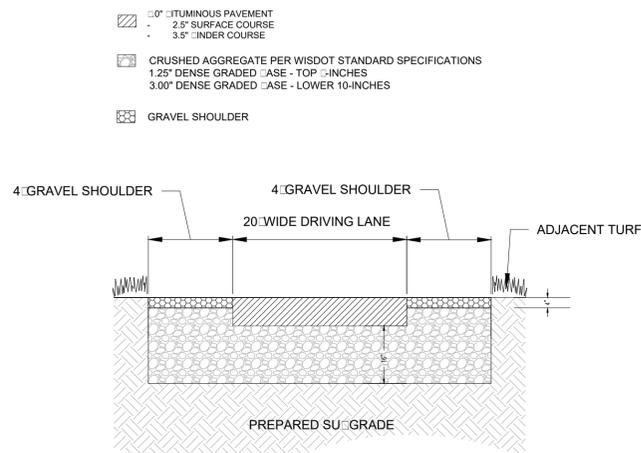
ACCESS ROAD PAVEMENT STRUCTURE



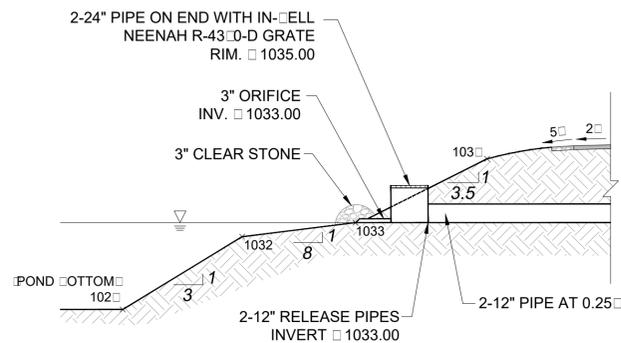
STORM SEWER BEDDING



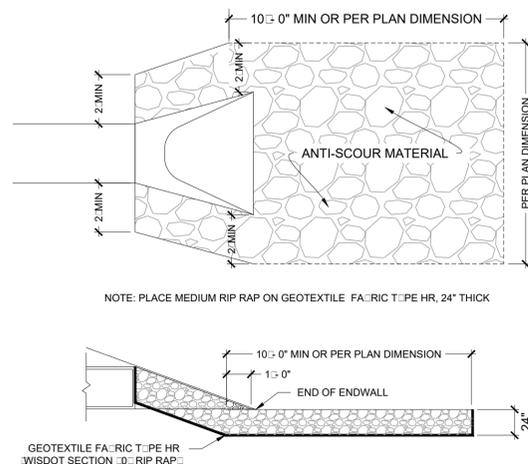
SUBSTATION SECURITY FENCE EXAMPLE



ACCESS ROAD SECTION

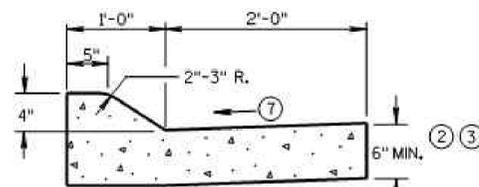


RELEASE STRUCTURE CROSS-SECTION  
N.T.S.

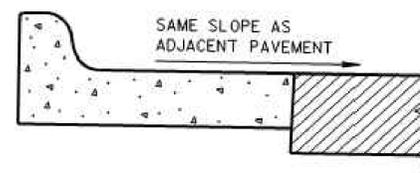


ENDWALL STRUCTURE WITH RIPRAP

**SDD 8d1-a Concrete Curb, Concrete Curb & Gutter**



4" SLOPED CURB TYPES A & D



REVERSE SLOPE GUTTER  
(TYPICAL FOR ALL CURB & GUTTER TYPES)

**GENERAL NOTES**

- 1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE CONTRACT.
- 2. PAVEMENT TIES AND TIE BARS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.6.2 OF THE STANDARD SPECIFICATIONS.
- 3. INTEGRAL CURB & GUTTER SHALL CONFORM TO THE DETAILS SHOWN FOR CONCRETE CURB & GUTTER INCLUDING THE TRANSVERSE GUTTER SLOPE.
- 4. WHERE THE TRANSVERSE JOINTS IN THE PAVEMENT ARE REQUIRED TO BE SEALED, THE JOINTS IN THE INTEGRAL CURB AND GUTTER SHALL BE SEALED TO THE FACE OF CURB WITH THE SAME TYPE OF SEALANT. THE COST OF FURNISHING AND INSTALLING THIS SEALANT SHALL BE INCIDENTAL TO THE ITEM CONCRETE CURB AND GUTTER.
- 5. UNLESS OTHERWISE SHOWN ON THE TYPICAL CROSS SECTIONS, THE BASE AGGREGATE AND COMMON EXCAVATION LIMITS ARE 2'-0" BEHIND THE BACK OF CURBS.
- 6. TIE BARS ARE REQUIRED FOR CURB AND GUTTER TYPES A, G, K, R AND TBTT.
- 7. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.
- 8. USE 8" MINIMUM GUTTER THICKNESS WHEN USED WITH AN ADJACENT CONCRETE TRUCK APRON PLACED BEHIND BACK OF CURB.
- 9. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 8" MINIMUM GUTTER THICKNESS IS MAINTAINED.
- 10. THE FACE OF CURB IS 6" FROM THE BACK OF CURB.
- 11. WHEN REVERSE SLOPE GUTTER IS REQUIRED, THE LOCATION(S) WILL BE SHOWN ELSEWHERE IN THE PLAN.
- 12. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
- 13. INCLUDE LONGITUDINAL JOINT AND TIE BARS ALONG LANE EDGE WHEN CONCRETE PANEL WIDTH EXCEEDS THE MAXIMUM WIDTH PER TABLE BELOW. LONGITUDINAL JOINT(S) ARE NOT ALLOWED WITHIN TRAFFIC LANES AND BIKE LANES. LONGITUDINAL JOINT MAY BE SAWED.

CONSTRUCTION DETAILS

EPIC - 2019

NORTHERN LIGHTS SUBSTATION

CITY OF VERONA, DANE COUNTY, WISCONSIN

DATE: 11/22/2019  
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EXISTING EVERGREEN SCREEN INSTALLED 2018

EXISTING VEGETATION

PROPOSED BUILDING

PROPOSED SUBSTATION

EXISTING VEGETATION

### LANDSCAPE PLAN - GENERAL NOTES

1. ALL AREAS TO BE RESTORED SHALL BE FINISH GRADED, FERTILIZED, & SEEDED IN ACCORDANCE WITH OWNER'S SPECIFICATIONS
2. ALL LANDSCAPE AREAS SHALL HAVE A MINIMUM 2" COMPACTED DEPTH OF TOPSOIL
3. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
4. PLANT INSTALLATION SHALL NOT OCCUR UNDER SATURATED SOIL CONDITIONS
5. SEE DETAILS FOR PLANTING INSTALLATION.

#### BUILDING FOUNDATION REQUIREMENT

FOUNDATION LENGTH = 295 LF  
POINTS REQUIRED = 20 POINTS PER 100LF = 22 POINTS

#### DEVELOPED LOT REQUIREMENT

BUILDING AREA = 2,220 SF  
POINTS REQUIRED = 10 POINTS PER 1000 SF = 22 POINTS

#### STREET FRONTAGE REQUIREMENT

FRONTAGE LENGTH = 454 FT  
POINTS REQUIRED = 20 POINTS PER 100 FT = 59 POINTS

#### PAVED AREA REQUIREMENT

PAVED AREA = 48,225 SF  
POINTS REQUIRED = 40 POINTS PER 10,000 SF = 91 POINTS

**TOTAL POINTS = 365 POINTS**

#### PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL	SIZE	ROOT COND	NOTES
<b>TALL EVERGREEN TREES</b>								
PGD	Picea glauca 'Densata'	Black Hills Spruce	6	40	240	6' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	8	40	320	6' TALL	B&B	
				<b>TOTAL:</b>	<b>560</b>	<b>POINTS</b>		

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LANDSCAPE PLAN

## EPIC - 2019

NORTHERN LIGHTS SUBSTATION

CITY OF VERONA, DANE COUNTY, WISCONSIN

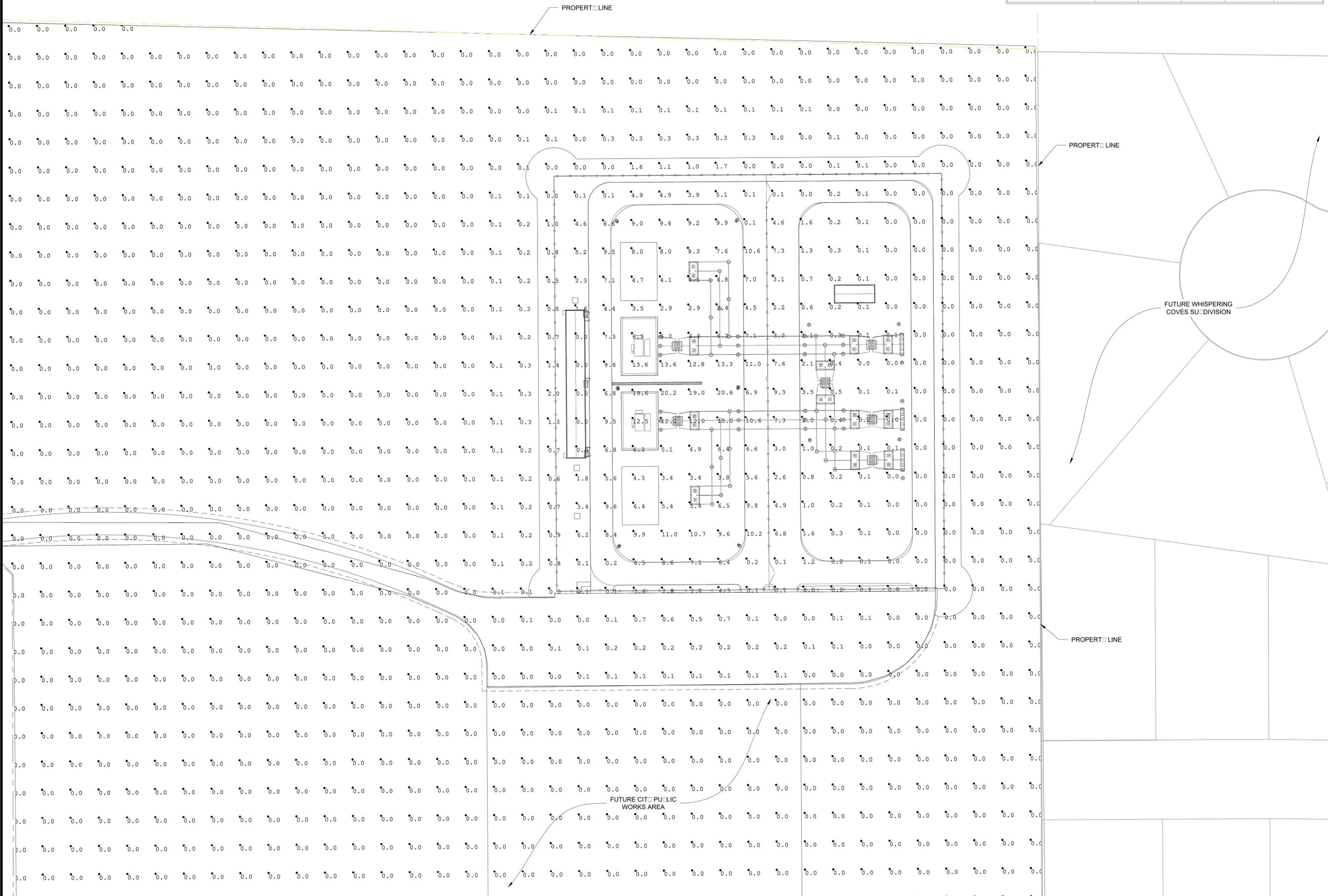


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**C-5.0**

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
UB5 SITE LIGHTI	0.56	20.6	0.0	N.A.	N.A.



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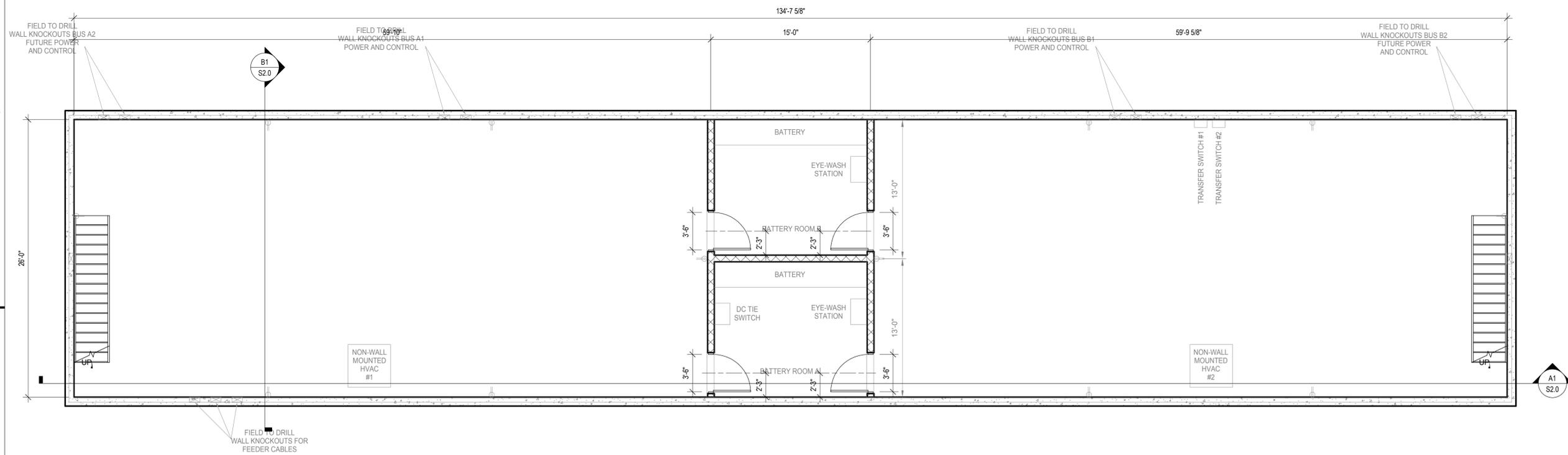
PHOTOMETRIC PLAN  
**EPIC - 2019**  
 NORTHERN LIGHTS SUBSTATION  
 CITY OF VERONA, DANE COUNTY, WISCONSIN



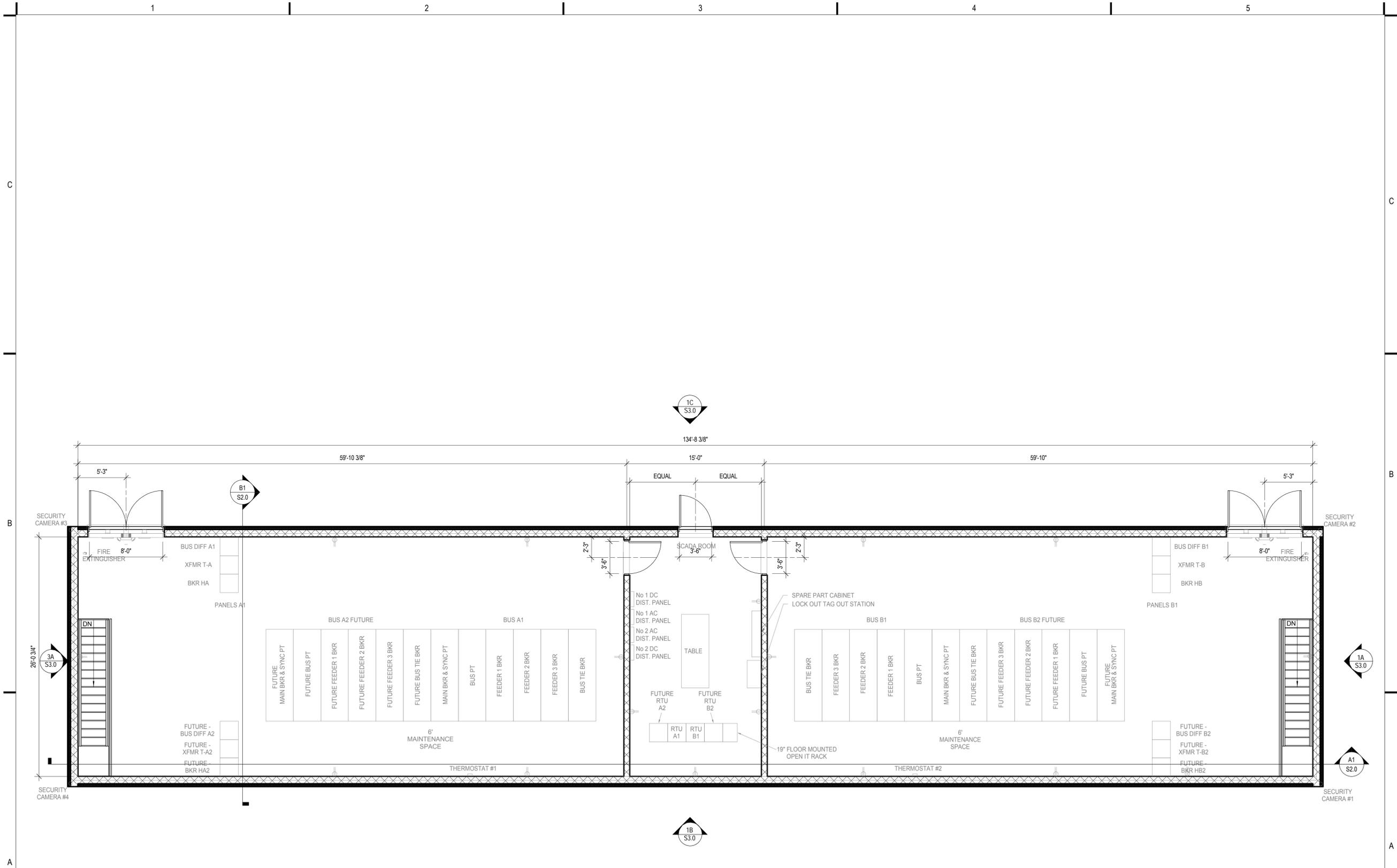
DATE: 11/22/2019  
 REVISED: REV # DR #

DRAWN BY: DRS

Sheet Number:  
**L-1.0**



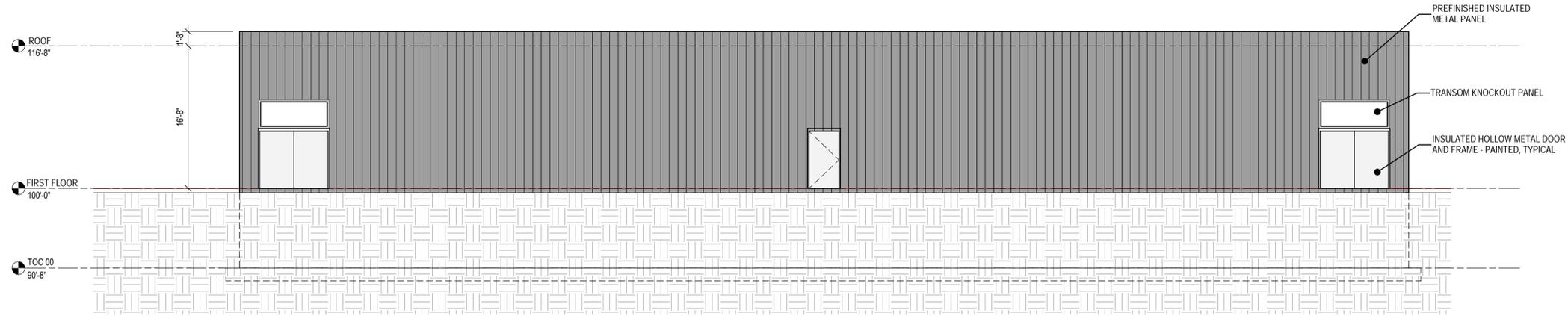
**A1** LOWER LEVEL LAYOUT PLAN  
3/16" = 1'-0"



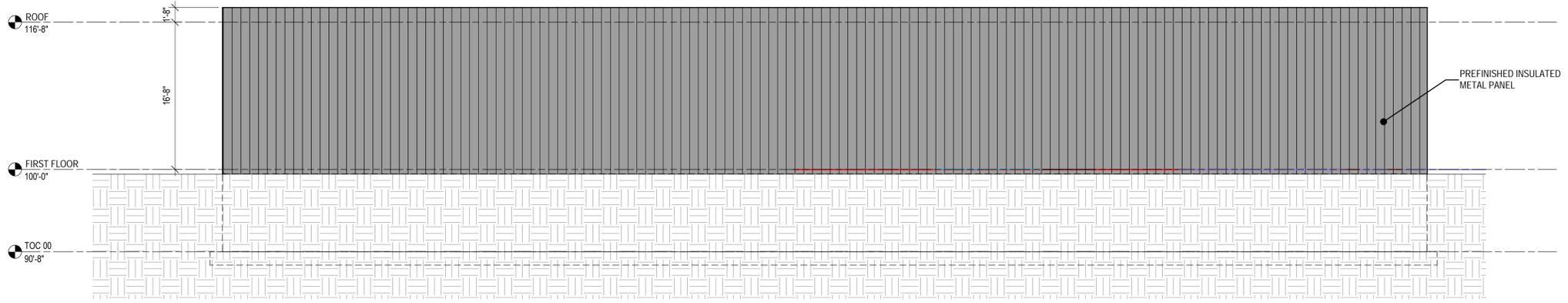
**A1** FIRST FLOOR LAYOUT PLAN  
3/16" = 1'-0"



11/19/2019 9:54:38 AM

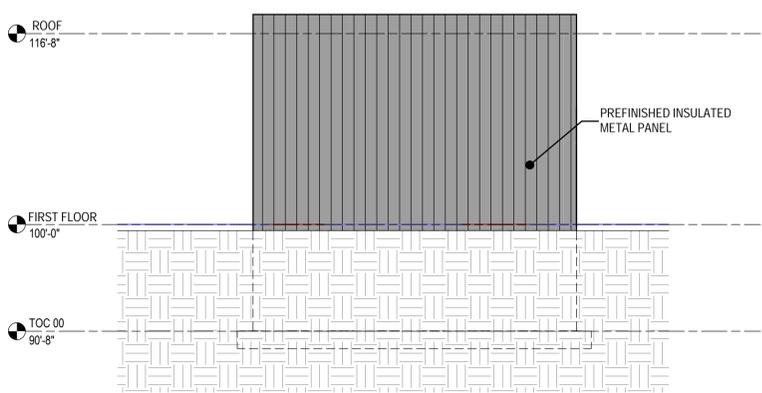


**1C EAST ELEVATION**  
1/8" = 1'-0"

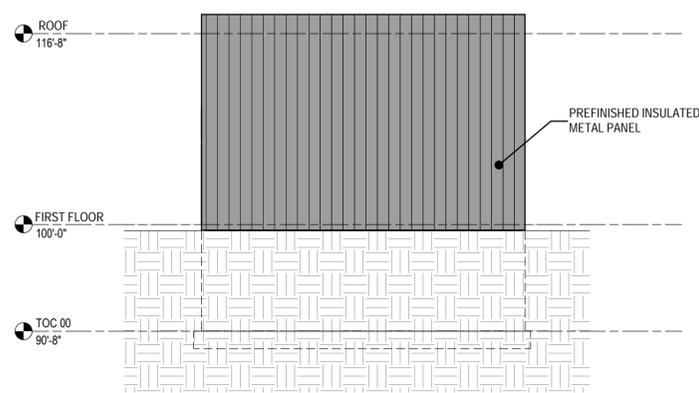


**1B WEST ELEVATION**  
1/8" = 1'-0"

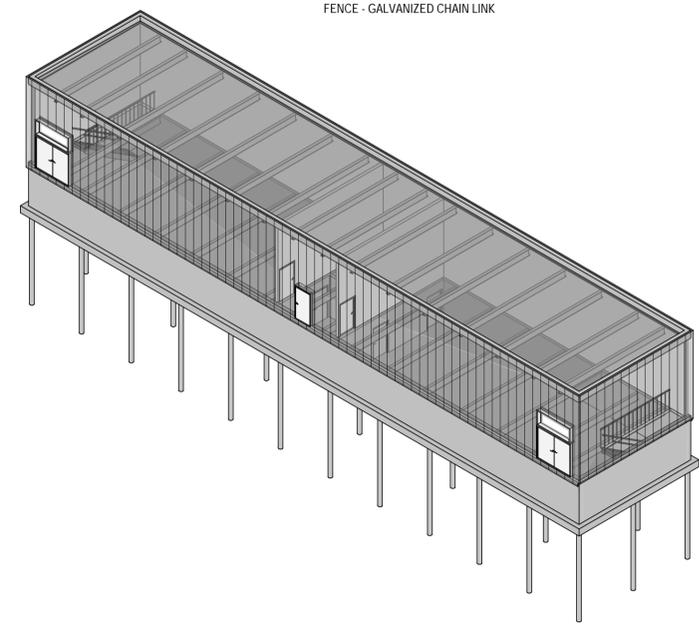
**MATERIAL COLOR NOTES:**  
METAL PANELS - ATC STANDARD GRAY  
TRIM - WHITE  
ROOF - BLACK  
FENCE - GALVANIZED CHAIN LINK



**1A SOUTH ELEVATION**  
1/8" = 1'-0"



**3A NORTH ELEVATION**  
1/8" = 1'-0"



3D ISOMETRIC VIEW OF SUBSTATION

UB5-1

UB5-4









# Planning Report

City of Verona

Plan Commission 1-6-2020

## ***Epic – Workshop***

### ***Initial Review***

**Summary:** The Applicant is requesting an initial review to construct a workshop near the Contractor Annex building on Epic’s campus. The proposed building will be used for woodwork and paint work, which requires a conditional use permit amendment and site plan approval.

**Property Location:** 1979 Milky Way

**Property Owner:** Epic Systems Corporation  
1979 Milky Way  
Verona, WI 53593

**Applicant:** Same

**Existing Zoning:** Suburban Industrial (SI)  
**Existing Land Use:** Vacant land  
**Proposed Land Use:** Workshop

**Figure 1 – Location Map**



## **Background:**

Epic is requesting an initial review to locate an on-site Workshop that will be used for woodwork and paint work. The building is intended to include office space, paint shop, art studio and woodworking shop.

Below is a summary of Epic's building construction in the vicinity of this proposal:

- **May 2010** – Contractor Annex – City grants Epic a conditional use permit (CUP), group development, to construct a contractor annex building of approximately 22,800 square feet. This was the original location for the Annex as it was removed in 2014 for Campus 4 buildings.
- **June 2014** – Contractor Annex – City grants Epic a CUP, group development, to construct a contractor annex building of approximately 36,300 square feet west of the existing Campus and east of the existing solar field.
- **May 2018** – Vehicle Fleet Maintenance Workshop – City grants Epic a CUP, group development, to construct a vehicle fleet maintenance workshop of 11,550 square feet.

The proposed building requires an amendment to Epic's CUP and site plan approval. This is the initial review of the proposed building.

## **Planning Review:**

### **Bulk Requirements:**

The proposed Workshop will conform to all Zoning requirements for the Suburban Industrial (SI) Zoning District. Staff has no concerns with the proposed location as it is not easily visible from any roadways.

### **Access:**

Access to the site will continue to be from the existing access drive that connects to the Contractor Annex building and the existing parking lot. A second access point connects to the existing gravel road to the southwest that will be used infrequently for delivering large bulk materials and garbage collection. Staff has no concerns with access.

### **Landscaping:**

The proposed building will be screened by planting trees. The landscaping plan exceeds the minimum requirements for the City. Further, Epic has a long history of exceeding the minimum landscaping point requirements for the City.

### **Drainage/Stormwater:**

New impervious surface is added as part of this proposal as well as other buildings since 2014. As part of the project, the Applicant has prepared a detailed stormwater management plan. The Applicant is proposing to modify the existing detention pond to handle the increase stormwater runoff. Staff has no concern at this time.

**Architecture:**

The proposed Workshop is a similar design and color to the existing Contractor Annex building and the Vehicle Fleet Maintenance Workshop nearby as depicted in Figure 2. The building will consist of a premanufactured red metal building with solar panels to match the other structures in the area. Staff has no concerns with the design of the buildings.



Figure 2 - Drone view with photo rendering showing the Workshop to the left and the Annex in the center

**Recommendation:**

Staff recommends the Plan Commission review the submitted materials and provide feedback to the Applicant.

**Prepared by:** Katherine Holt *KH*  
Community Development Specialist

**Submitted by:** Adam Sayre, AICP *AS*  
City Administrator

## **Project and Storm water Narrative – Workshop**

Epic Systems Corporation (Epic) has determined the need for a Workshop that will be used for woodwork and paint work. The Workshop will be screened and hidden from public view and access due to location on the property.

The proposed Workshop is located south of the Annex building that will provide an ideal access for the personal through Annex driveway to the Workshop parking lot. Access road to the southwest to existing gravel road to the Workshop will be used infrequently for delivering large bulk materials and garbage collection.

The building will be owned and developed by Epic Systems Corporation and constructed in collaboration with Graef-USA, JP Cullen and Sons Inc, D'onofrio Kottke and Associates Inc. and others.

The proposed building location is currently zoned Suburban Industrial, and the use of the building is suited to that zoning. The building is intended to include office space, paint shop, art studio and wood working shop.

The building is intended to be a premanufactured metal building bearing on concrete slab/foundation similar in style to the Annex contractor building and Fleet Shop it will be located near.

The addition of this building, and its access routes will add a small amount (0.77 acres total) of impervious surface to a large (61.6 acre) watershed, wholly contained on Epic's property, just East of Country View Road.

This watershed was analyzed and reported on in 2014 prior to the construction of the Annex. During this analysis, and subsequent construction, the storm water facility was sized to accommodate peak flow and sediment reduction requirements as stipulated by City and State ordinance.

The addition of the Workshop building adds approximately 0.77 acres of impervious surface to this watershed, which does not affect the existing Weighted Curve Number or the time of concentration that was used to design the existing detention facility. However, since 2014, the impervious area has been increased within the 61.6 acres of watershed. This triggers a new watershed analysis to determine appropriate stormwater management facilities to accept increased stormwater runoff from approximately 9.80 acres of imperviousness from Annex, Fleet Shop, Fuel Storage, Horse Pad and all access roads, and proposed Workshop. A stormwater management report is included with this submittal. Therefore, Epic proposed to modify existing detention pond to sufficient capacity to handle peak flow and sediment control from the increased stormwater runoff within watershed.

The additional impervious surface from the Workshop has been analyzed and determined that the infiltration requirements will be met with an infiltration and bioretention basins. However, the final design of these facilities will be determined after soil tests and report are completed.

Other site erosion control will be managed using best practices, staked silt sock, silt fence and stone weepers will be used to help prevent soil loss and fouling of storm sewer. A stone construction entrance will be used to limit vehicle tracking, though it is unlikely that any public roads will be affected.

Epic will continue to meet City requirements for landscaping by planting a variety of trees in and around the area of the building. This landscaping will be carried out by Epic's in-house horticulture team with assistance and guidance as required from consulting Landscape Architects and any requests from City staff.

The exterior lighting plan is currently being developed with the guidelines of minimal exterior lights expect those required to meet safe work requirements during the hours of operation.



# Epic

 - 2019  

## WORKSHOP

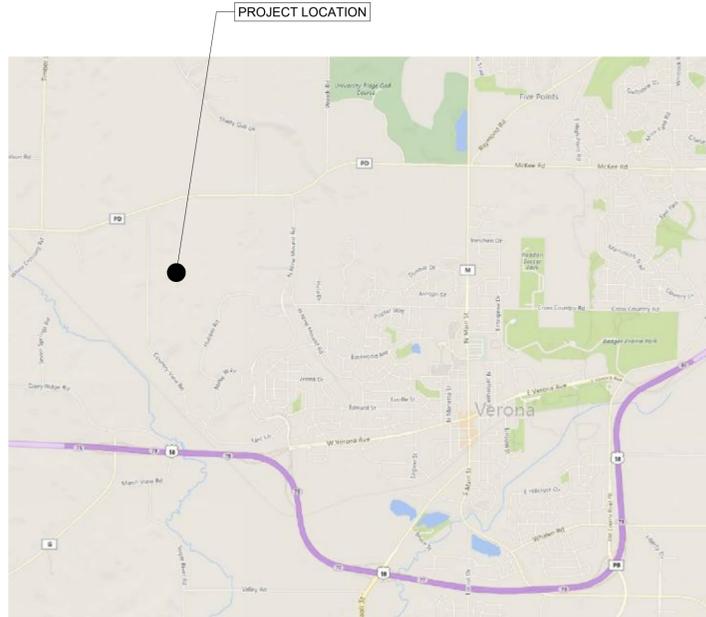
### CUP APPLICATION REVIEW

CITY OF VERONA  
 DANE COUNTY, WISCONSIN

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7550 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

COVER SHEET  
**EPIC - 2019**  
 CUP APPLICATION REVIEW  
 City of Verona, Dane County, Wisconsin



PROJECT LOCATION MAP  
 N.T.S.



PROJECT LOCATION MAP  
 N.T.S.

#### Sheet List Table

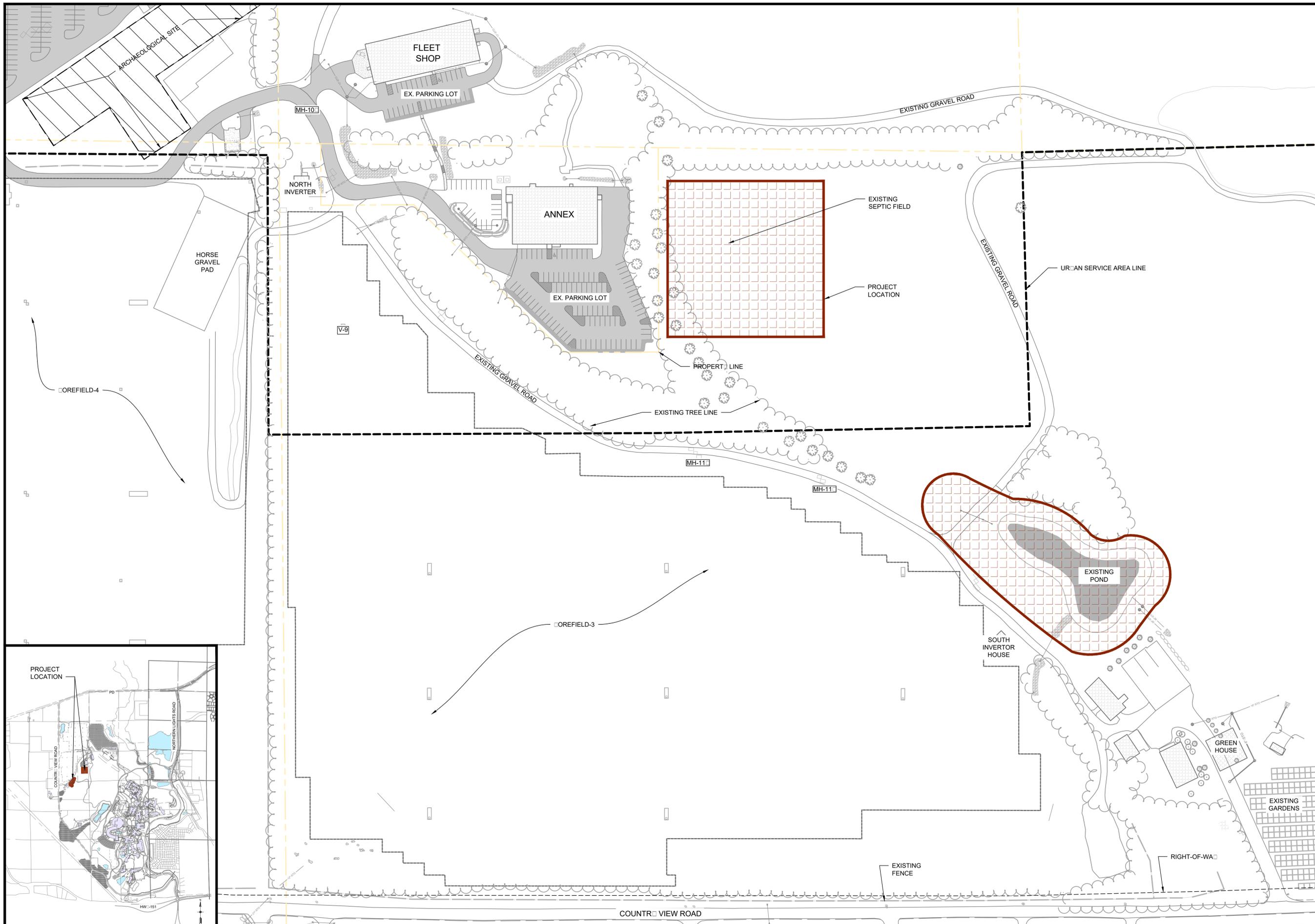
Sheet Number	Sheet Title
C-001	COVER SHEET
C-100	EXISTING SITE PLAN
C-101	DEMOLITION PLAN
C-102	PROPOSED SITE PLAN
C-103	GRADING PLAN
C-104	EROSION CONTROL PLAN
C-105	UTILITIES PLAN
C-106	SANITARY PLAN & PROFILE
C-107	WATER PLAN & PROFILE
C-108	GEO THERMAL PLAN & PROFILE
C-109	DUCT BANK PLAN & PROFILE
C-110	STORM SEWER PLAN & PROFILE
C-111	STORM SEWER PLAN & PROFILE
L-112	LANDSCAPE PLAN
X-113	DETAILS
WS-E800	PHOTOMETRIC PLAN
A-101	FLOOR PLAN
A-201	EXTERIOR ELEVATIONS
A-901	RENDERINGS

PLANS SCALE FOR  
 22"X34"

DATE: 12-20-19  
 REVISED: REV # DR #

DRAWN BY: YM  
 FN: 12-05-130  
 Sheet Number:

**C-001**



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 7590 Westward Way, Madison, WI 53717  
 Phone: 608.833.7330 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

EXISTING SITE PLAN

**EPIC - 2019**

CUP APPLICATION REVIEW

CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 12-20-19  
 REVISED: REV # DR #

DRAWN BY: YM

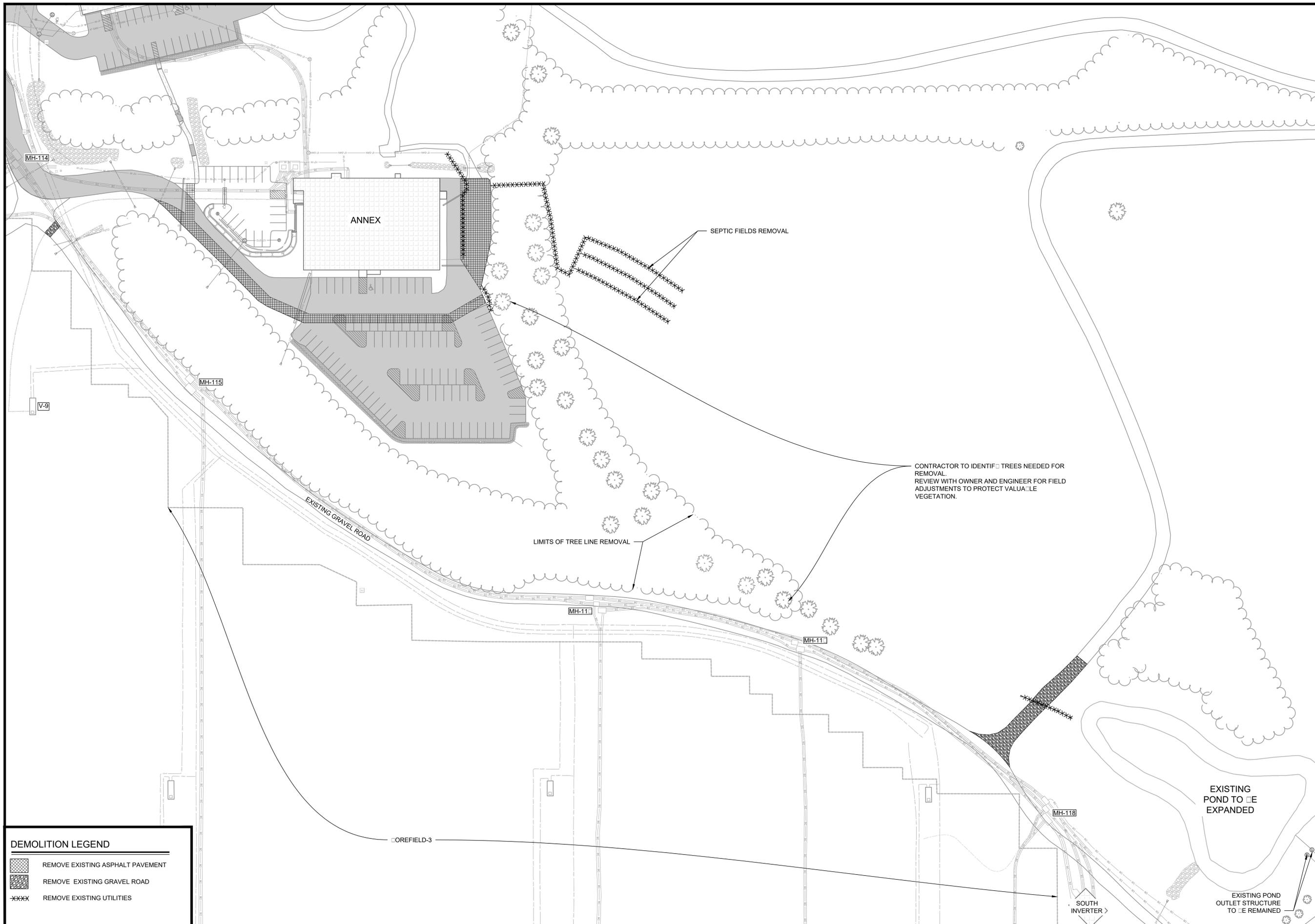
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DATE: 12-20-19  
 REVISED: REV # DR #

DRAWN BY: JSM

Sheet Number:  
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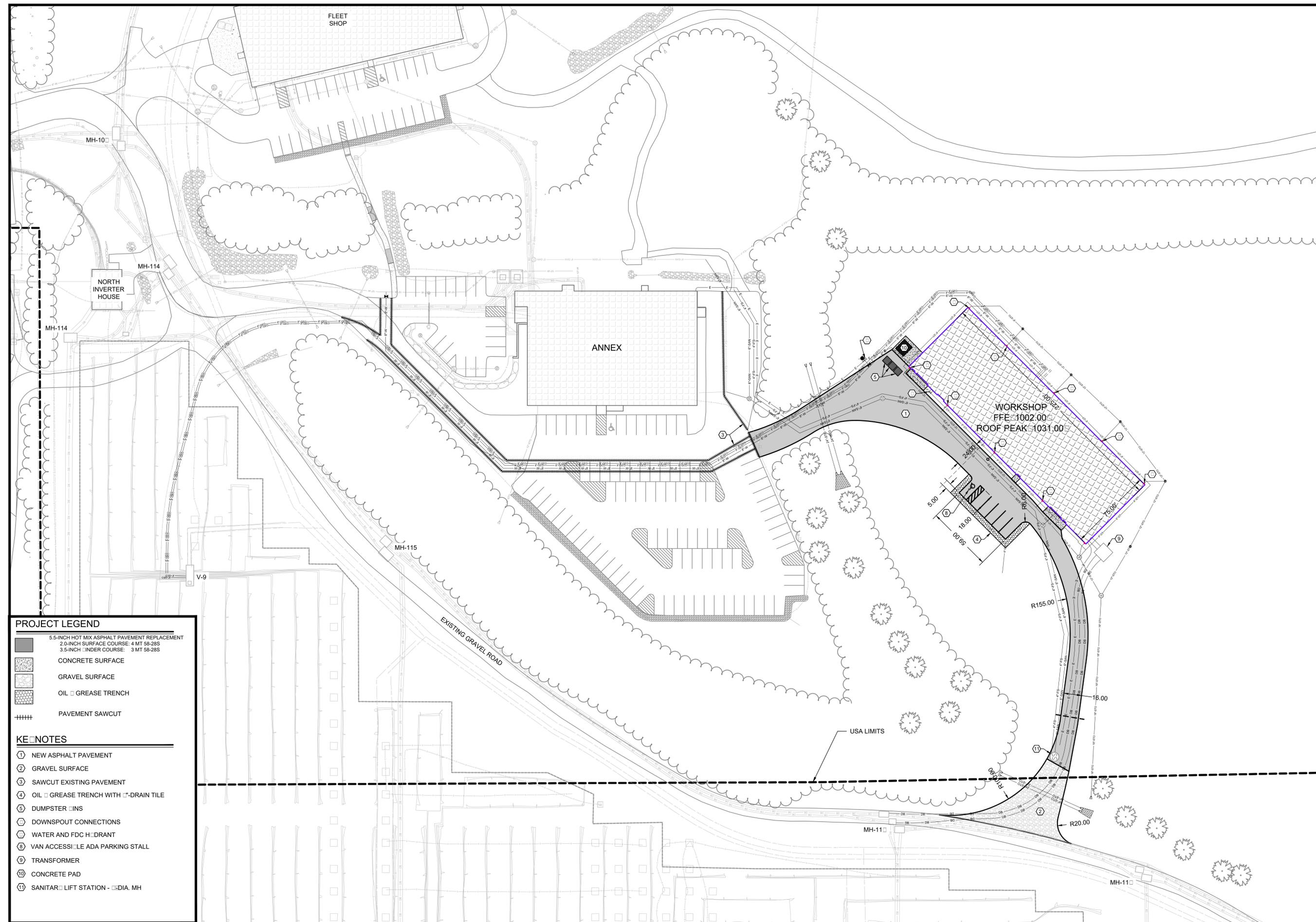


**DEMOLITION LEGEND**

- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING GRAVEL ROAD
- REMOVE EXISTING UTILITIES



DATE: 12-20-19  
 REVISED: REV # DR #  
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 DRAWN BY: YM  
 Sheet Number:  
**C-102**



**PROJECT LEGEND**

- 5.5-INCH HOT MIX ASPHALT PAVEMENT REPLACEMENT  
2.0-INCH SURFACE COURSE: 4 MT 58-28S  
3.5-INCH UNDER COURSE: 3 MT 58-28S
- CONCRETE SURFACE
- GRAVEL SURFACE
- OIL GREASE TRENCH
- PAVEMENT SAWCUT

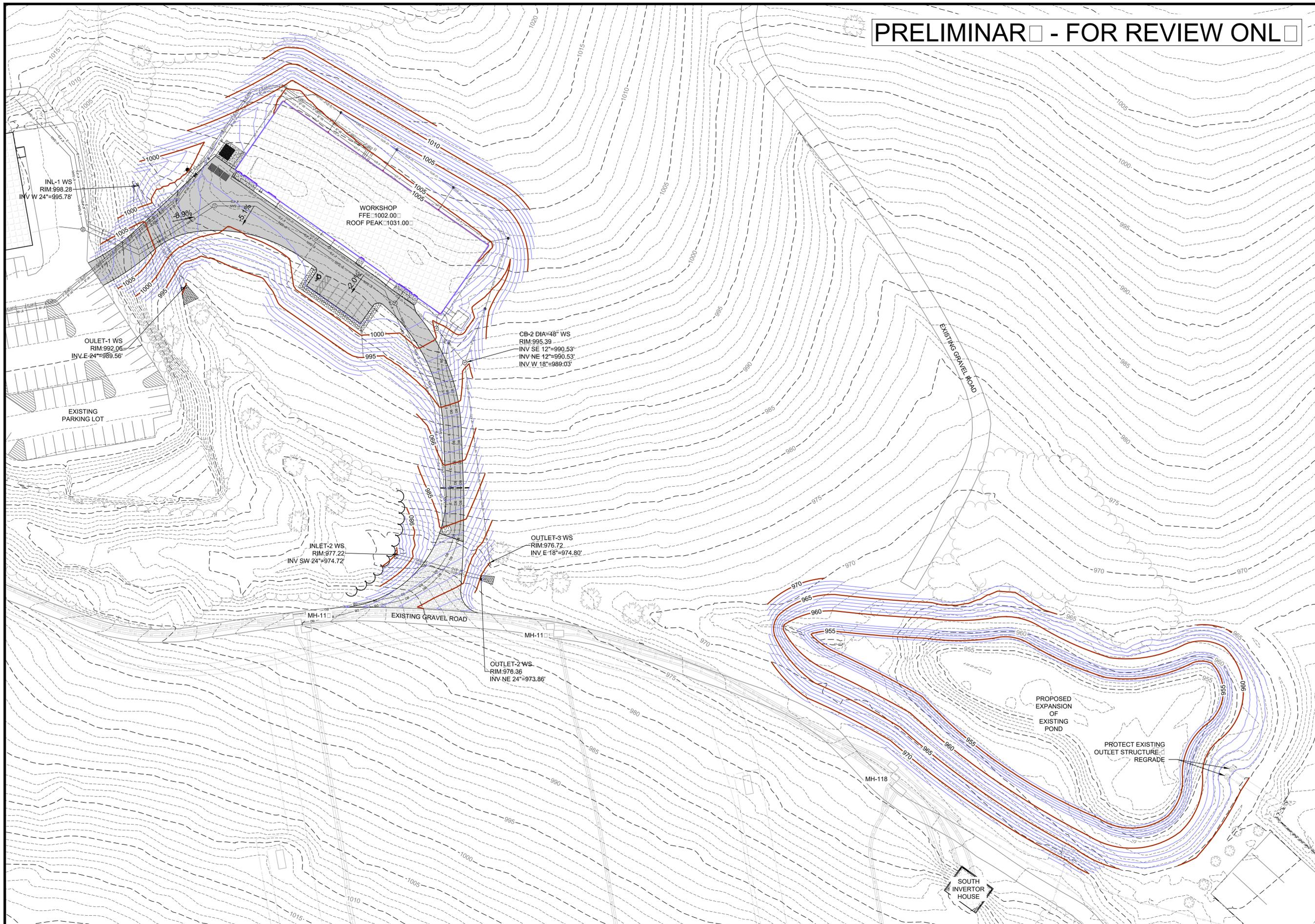
**KEY NOTES**

- ① NEW ASPHALT PAVEMENT
- ② GRAVEL SURFACE
- ③ SAWCUT EXISTING PAVEMENT
- ④ OIL GREASE TRENCH WITH DRAIN TILE
- ⑤ DUMPSTER SITS
- ⑥ DOWNSPOUT CONNECTIONS
- ⑦ WATER AND FDC H DRANT
- ⑧ VAN ACCESSIBLE ADA PARKING STALL
- ⑨ TRANSFORMER
- ⑩ CONCRETE PAD
- ⑪ SANITARY LIFT STATION - DIA. MH

PRELIMINARY - FOR REVIEW ONLY

D'ONOFRIO KOTTE AND ASSOCIATES, INC.  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
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GRADING PLAN  
EPIC - 2019  
CUP APPLICATION REVIEW  
CITY OF VERONA, DANE COUNTY, WISCONSIN



DATE: 12-20-19  
REVISED: REV # DR #

DRAWN BY: YM

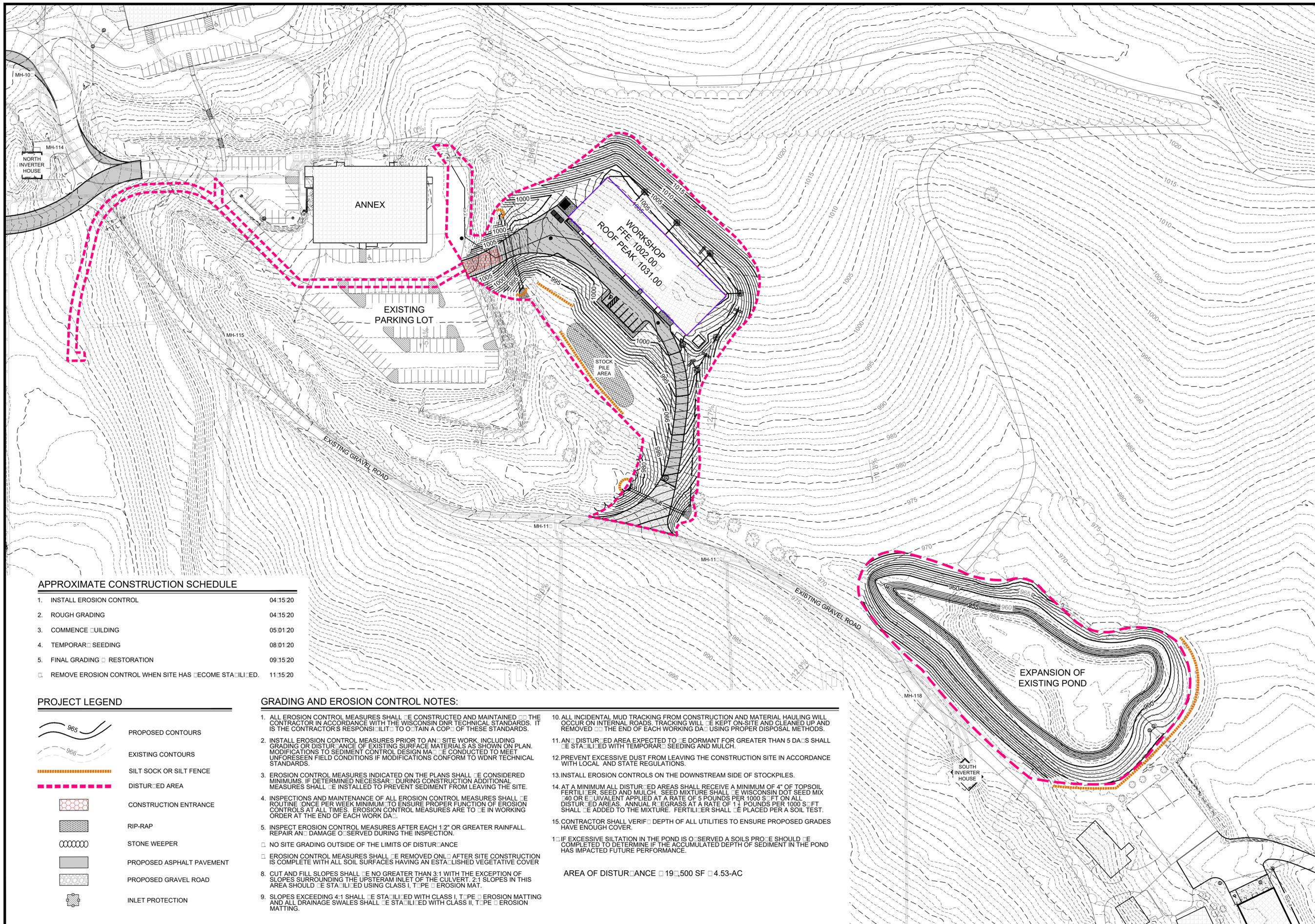
Sheet Number:  
C-103



DATE: 12-20-19  
 REVISED: REV # DR #

DRAWN BY: YM

Sheet Number:  
**C-104**



**APPROXIMATE CONSTRUCTION SCHEDULE**

1. INSTALL EROSION CONTROL	04.15.20
2. ROUGH GRADING	04.15.20
3. COMMENCE BUILDING	05.01.20
4. TEMPORARY SEEDING	08.01.20
5. FINAL GRADING & RESTORATION	09.15.20
6. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED	11.15.20

**PROJECT LEGEND**

- PROPOSED CONTOURS
- EXISTING CONTOURS
- SILT SOCK OR SILT FENCE
- DISTURBED AREA
- CONSTRUCTION ENTRANCE
- RIP-RAP
- STONE WEEPER
- PROPOSED ASPHALT PAVEMENT
- PROPOSED GRAVEL ROAD
- INLET PROTECTION

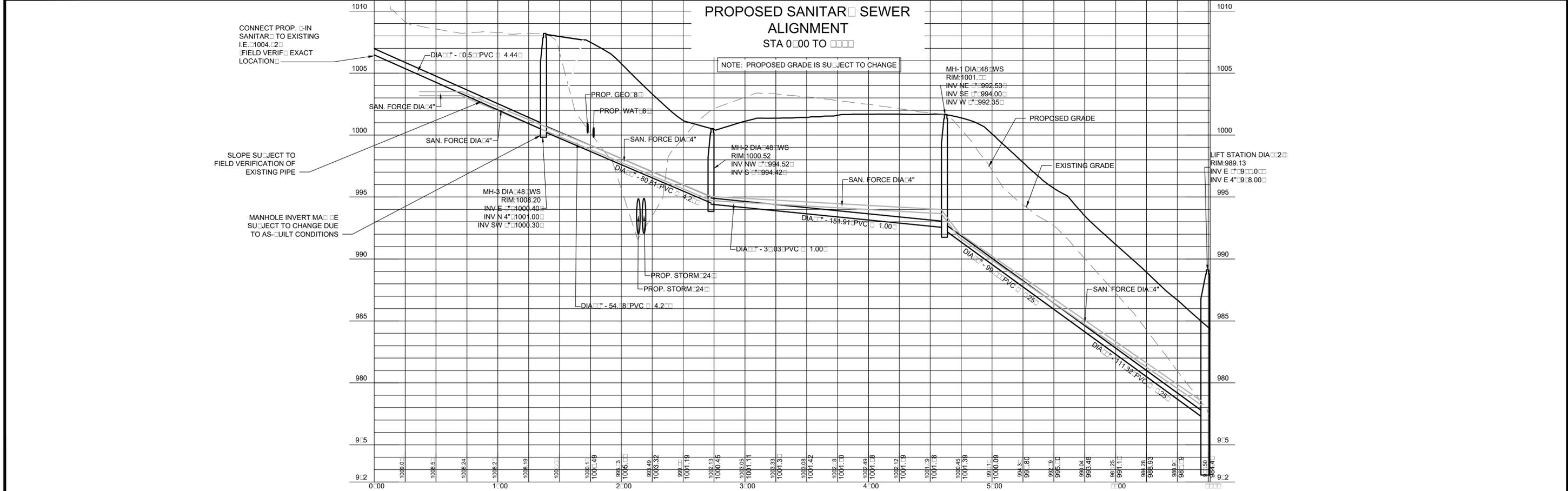
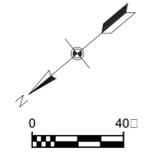
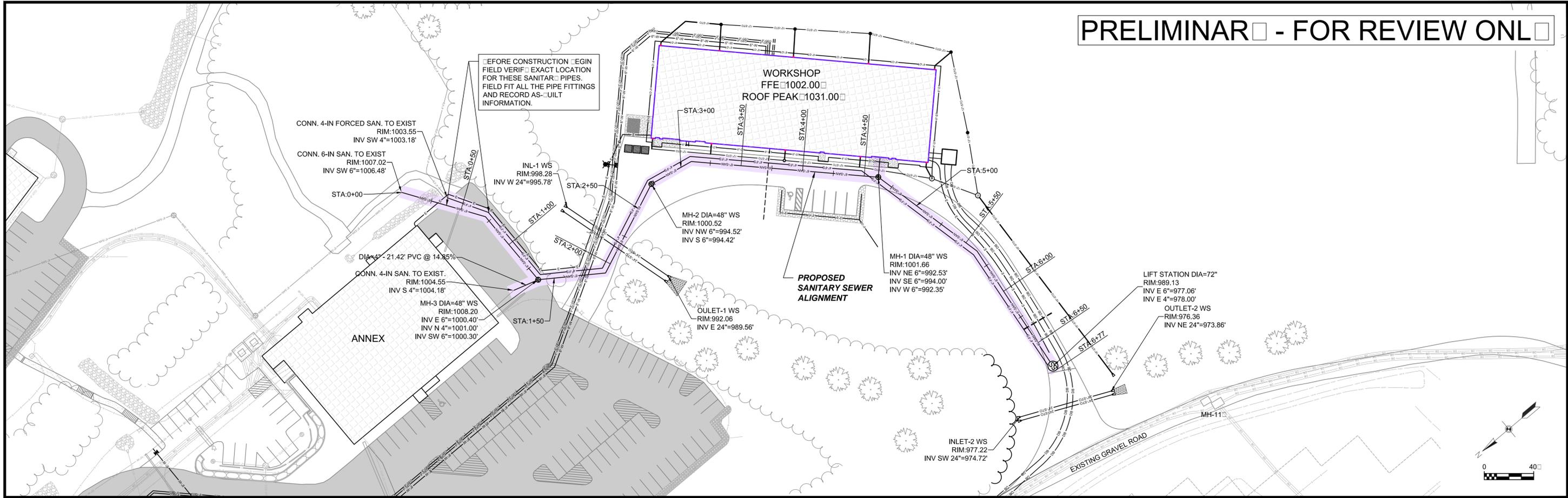
**GRADING AND EROSION CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE ONCE PER WEEK MINIMUM TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR AND DAMAGE OBSERVED DURING THE INSPECTION.
  - NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
6. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CULVERT. 2:1 SLOPES IN THIS AREA SHOULD BE STABILIZED USING CLASS I, TYPE II EROSION MAT.
7. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE II EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE II EROSION MATTING.
8. ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
9. AN UNDISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
10. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
11. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
12. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 S.F. ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 S.F. SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
13. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.
14. IF EXCESSIVE SILTATION IN THE POND IS OBSERVED A SOILS PROFILE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE POND HAS IMPACTED FUTURE PERFORMANCE.

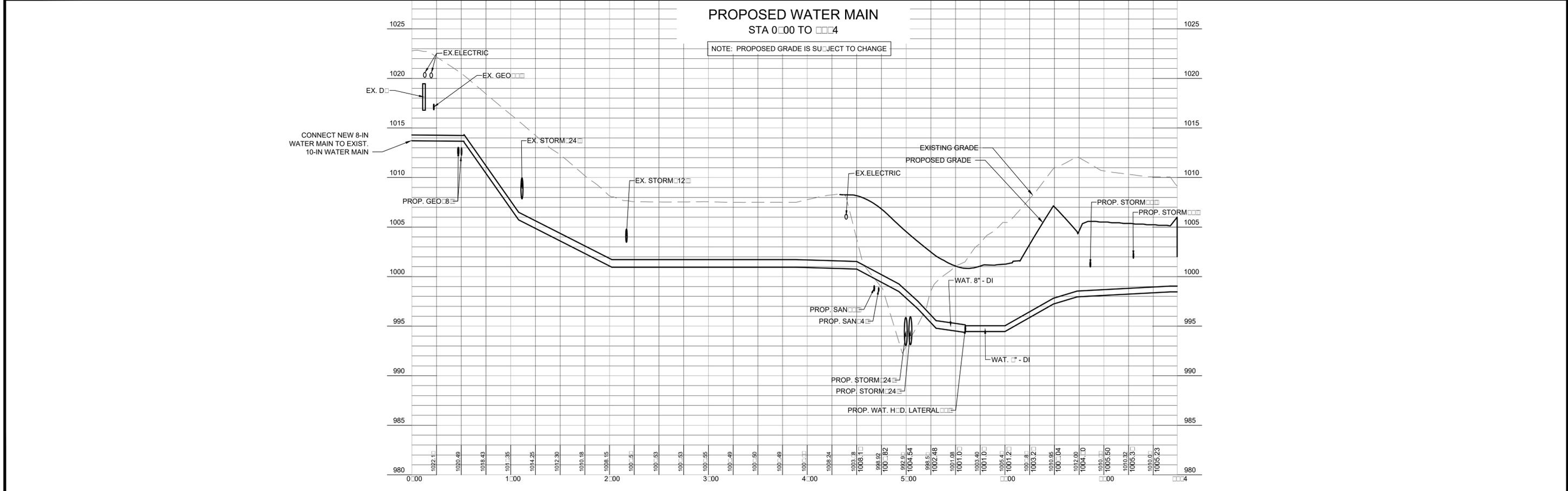
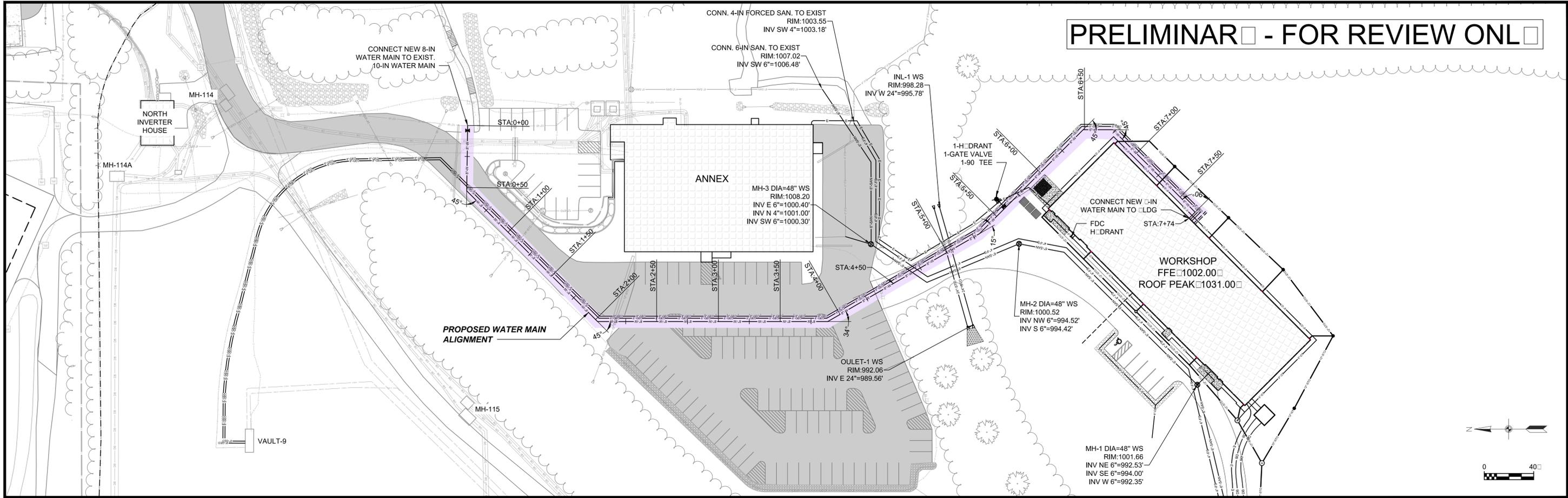
AREA OF DISTURBANCE  $\square$  19,500 SF  $\square$  4.53-AC



PRELIMINAR - FOR REVIEW ONLY

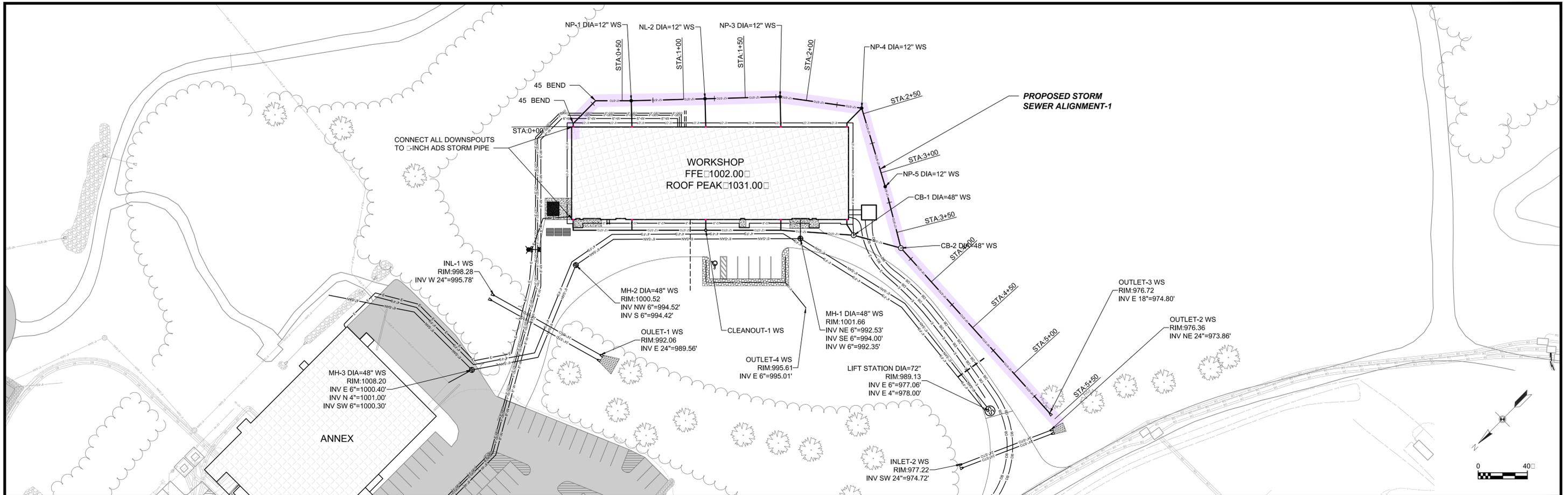


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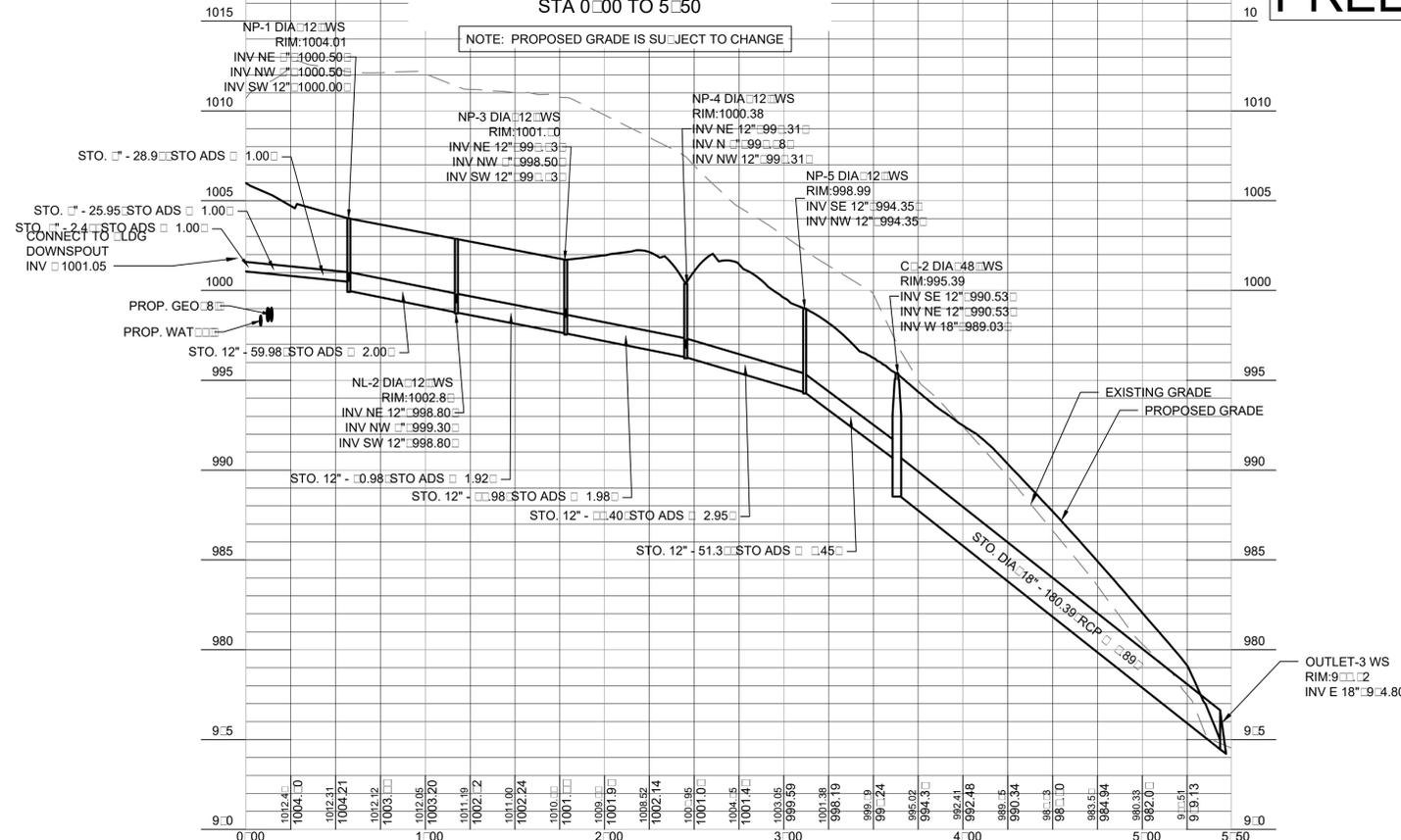




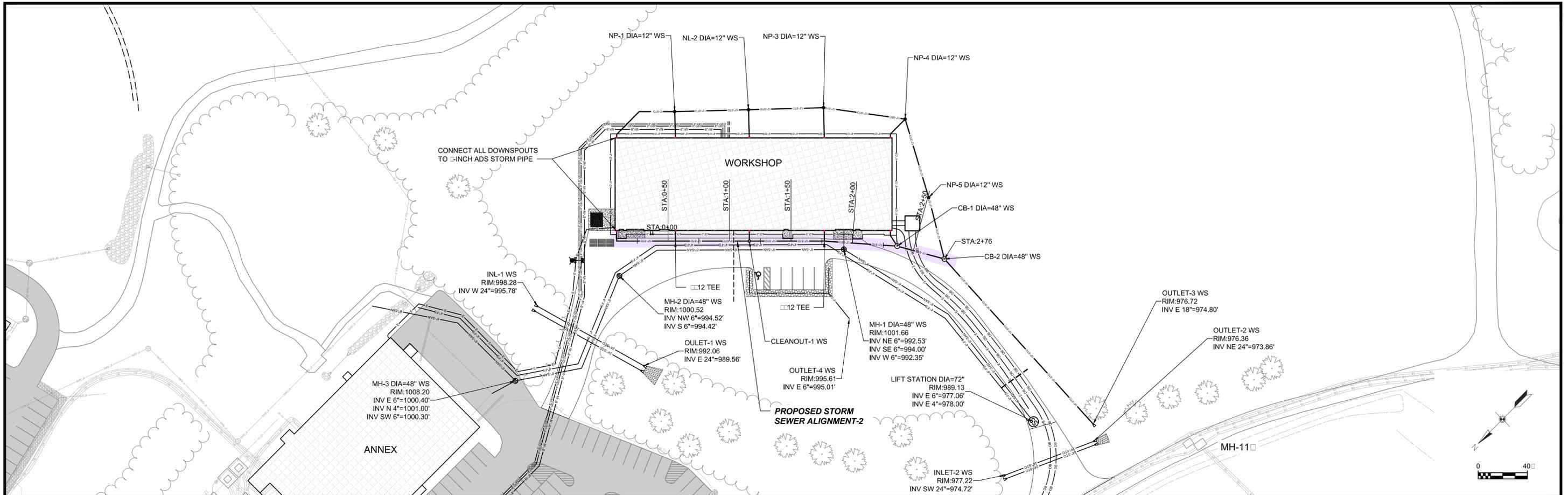


PROPOSED STORM SEWER  
STA 0+00 TO 5+50

PRELIMINARY - FOR REVIEW ONLY

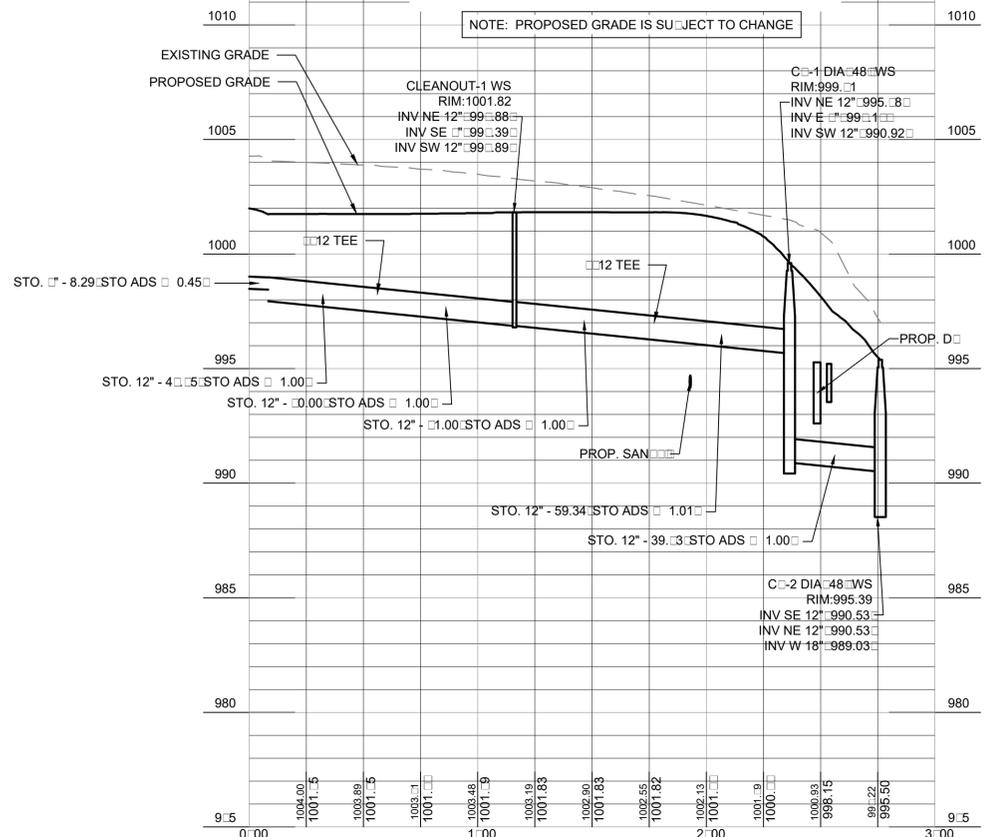


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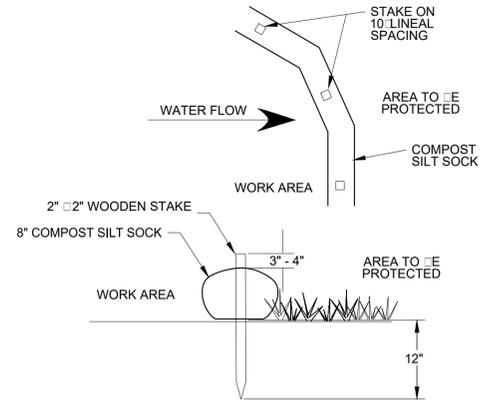
**PROPOSED STORM SEWER**  
STA 0+00 TO 2+00

**PRELIMINARY - FOR REVIEW ONLY**

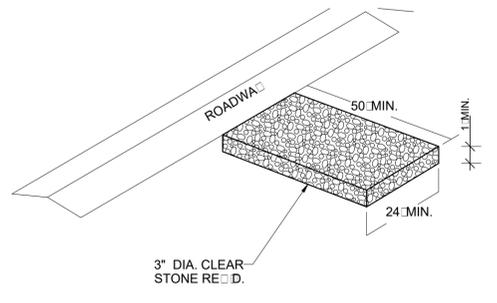


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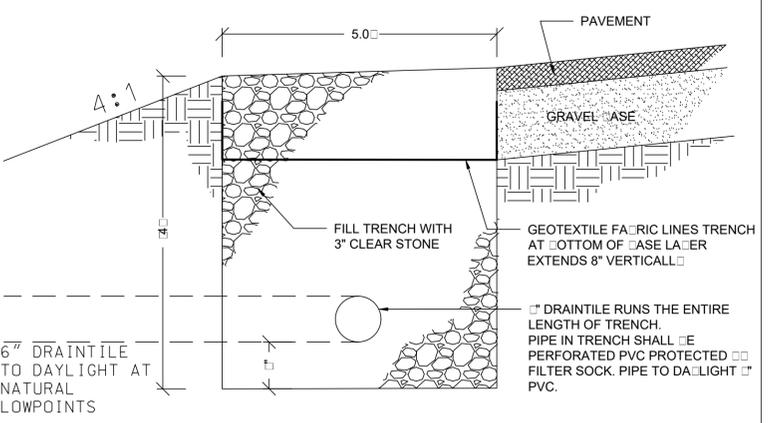




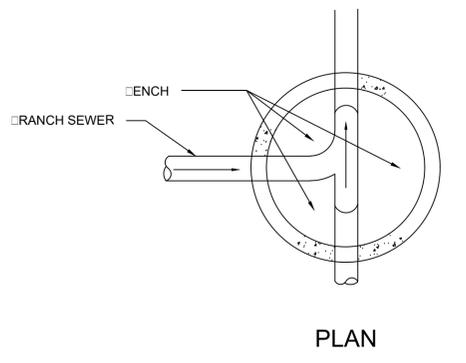
8" COMPOST SILT SOCK



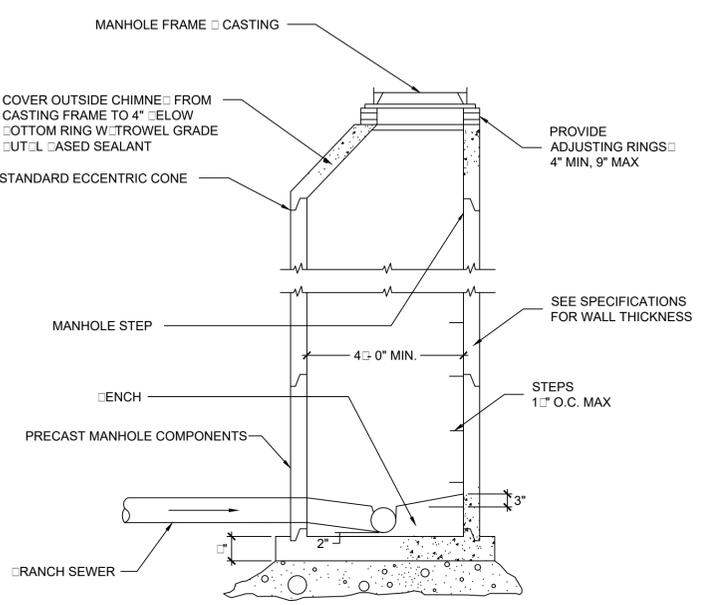
STONE TRACKING PAD DETAIL



OIL/GREASE CONTROL TRENCH

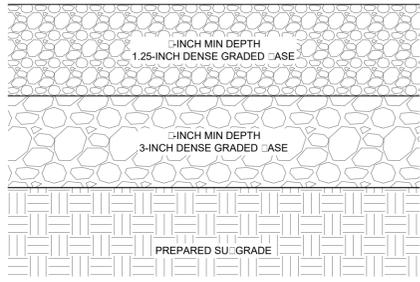


PLAN

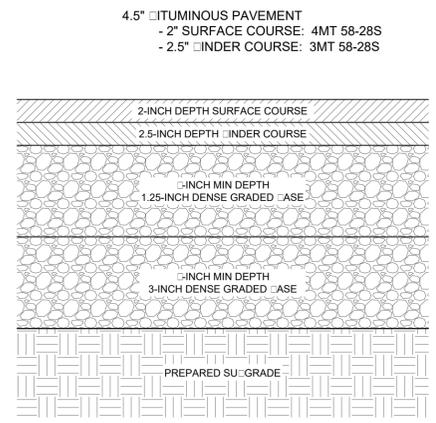


SECTION

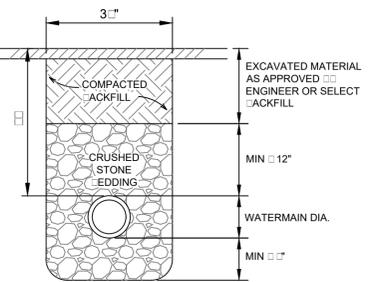
SANITARY MANHOLE



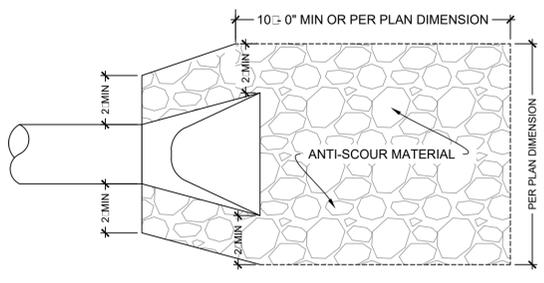
GRAVEL DRIVEWAY TYPICAL STRUCTURE



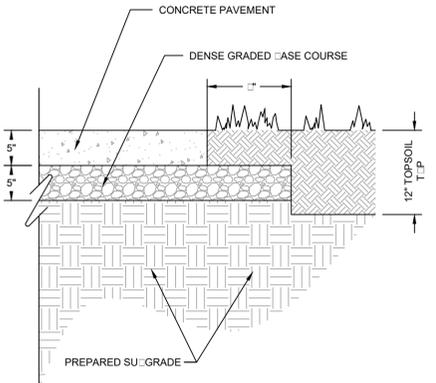
ROAD PAVEMENT TYPICAL STRUCTURE



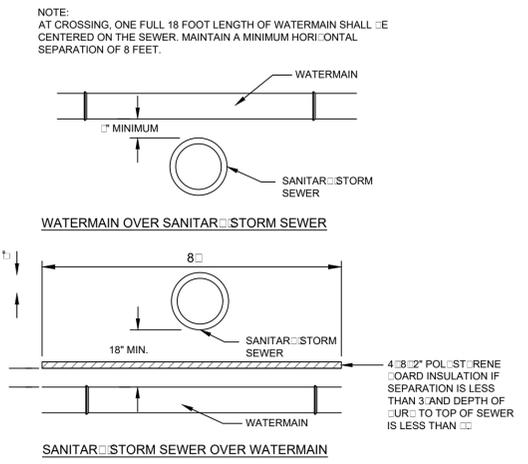
WATERMAIN & SAN. SEWER BEDDING



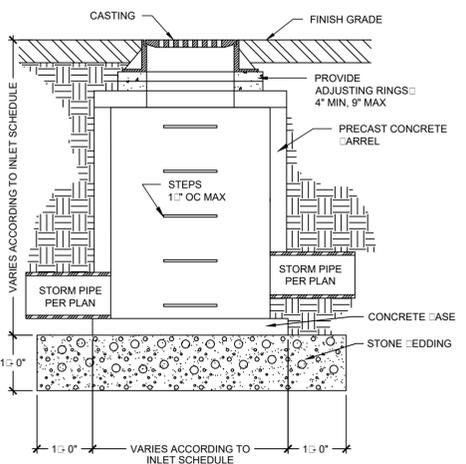
ENDWALL STRUCTURE WITH RIPRAP



CONCRETE PAVEMENT



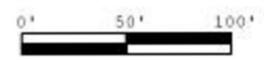
WATERMAIN - SEWER SEPARATION



STORM SEWER CATCH BASIN

COUNTRY VIEW ROAD

COUNTRY VIEW ROAD



**DRAWING NOTES**  
 (1) (3) F1-WS1 FIXTURES TO BE LITHONIA OLWX1-LED-20W-40K

Calculation Summary							
Project: Workshop_Ground_Calc							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Workshop Ground	Illuminance	Fc	0.05	8.1	0.0	N.A.	N.A.

Calculation Summary							
Project: Workshop_Obstructive_Calc							
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Workshop Obstructive_Ill_Seg1	Obtrusive Light - Ill	Fc	0.00	0.0	0.0	N.A.	N.A.

Consultant  
**THE MORSE GROUP**  
 BELOIT, WI 608.229.0170 - FREEPORT, IL 815.266.4200 - LAS VEGAS, NV 702.257.4400  
**Beloit Office:**  
 1390 Gateway Boulevard  
 Beloit, WI 53511  
 Main Phone: 608-299-0180  
 Fax Number: 608-299-0175  
 www.themorsegroup.com

Revisions

No.	Date	Description
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Date:	11/12/19
PIC / AIC:	SJB
Drawn By:	JPD
Checked By:	MAW
Document Phase:	PLAN REVIEW
Comm. No.:	55806

Project Title  
**Epic**  
 WORKSHOP

Release  
 PLAN REVIEW

Sheet Title  
 SITE PHOTOMETRICS

Sheet Number  
**WS-E800**

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 11/14/2019 7:08:06 AM

NOT FOR CONSTRUCTION

PROJECT INFORMATION:

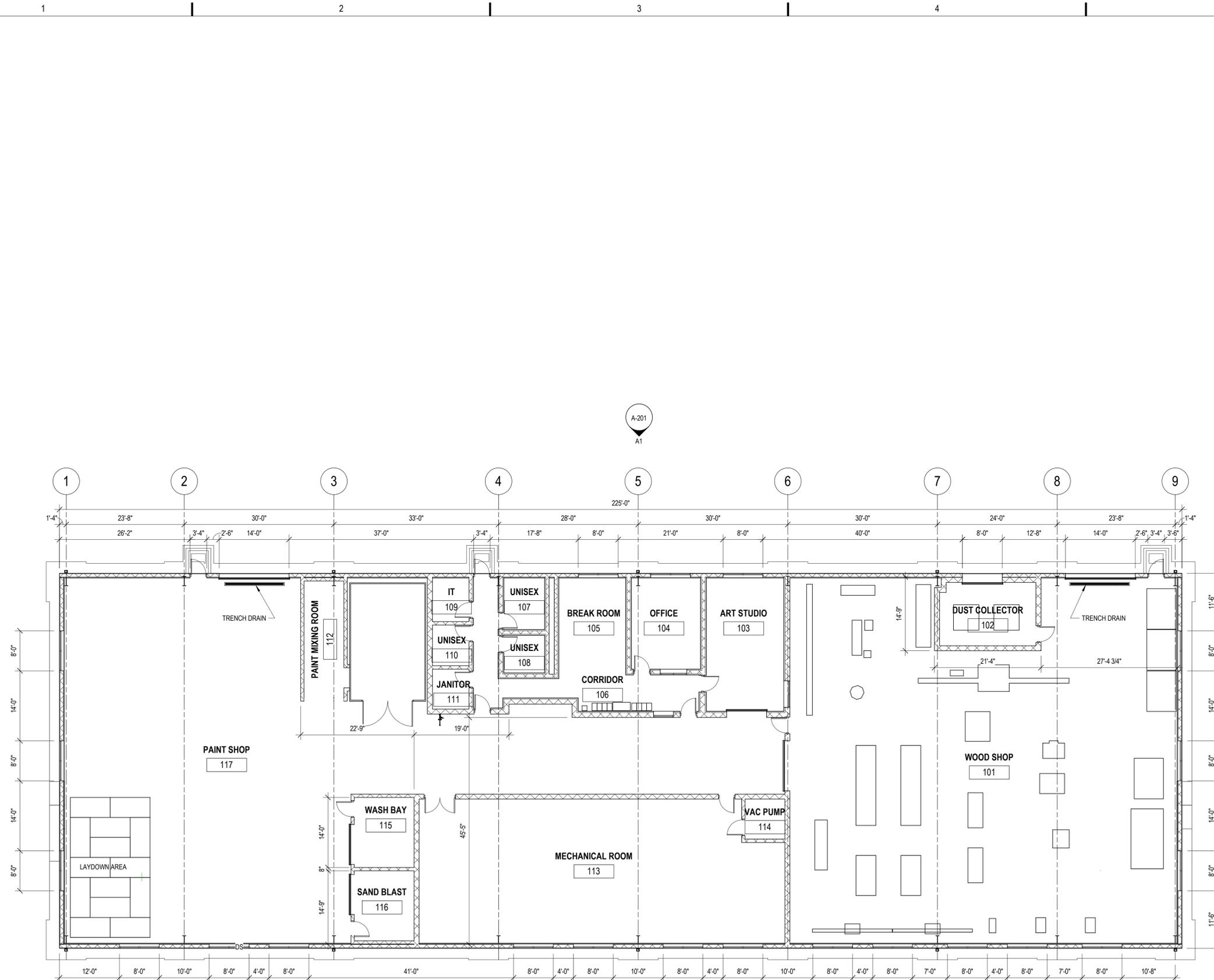
PROJECT NUMBER: 2019-5012.00  
DATE: 11/21/19  
DRAWN BY: JDJ  
CHECKED BY:  
APPROVED BY:  
SCALE: AS NOTED

SHEET TITLE:

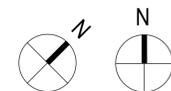
FLOOR PLAN

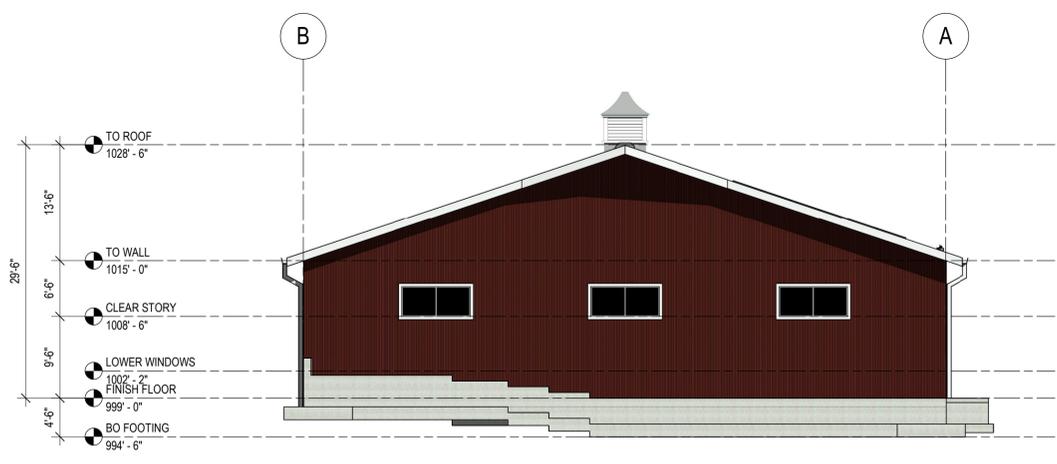
SHEET NUMBER:

# A-101

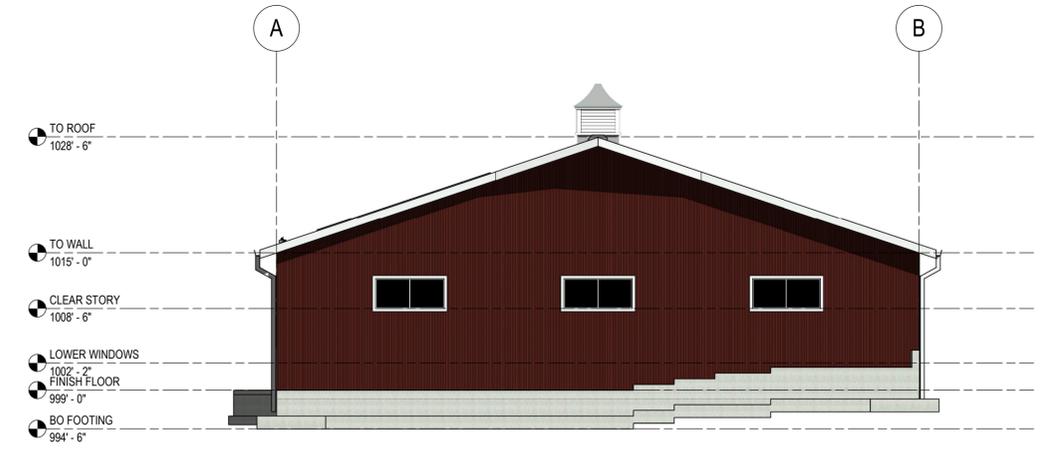


**A1** FLOOR PLAN - OVERALL  
3/32" = 1'-0"

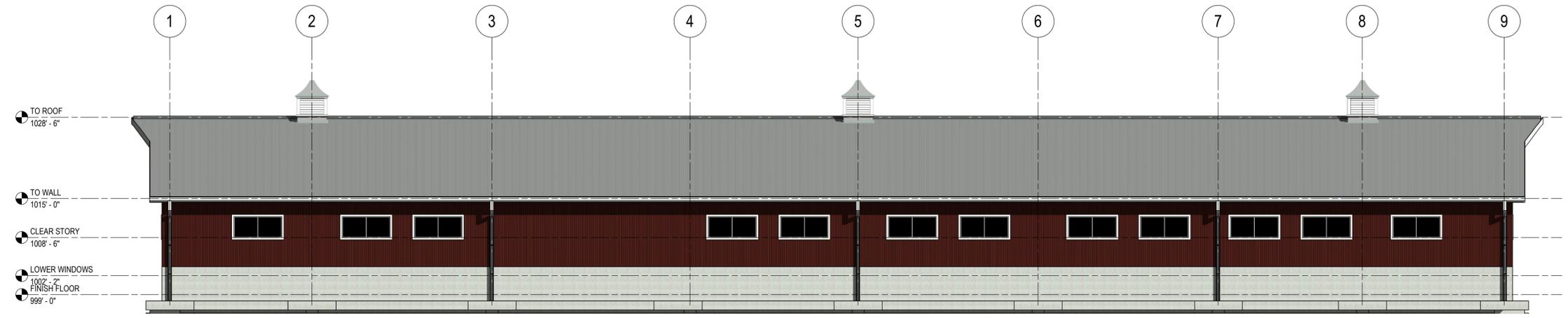




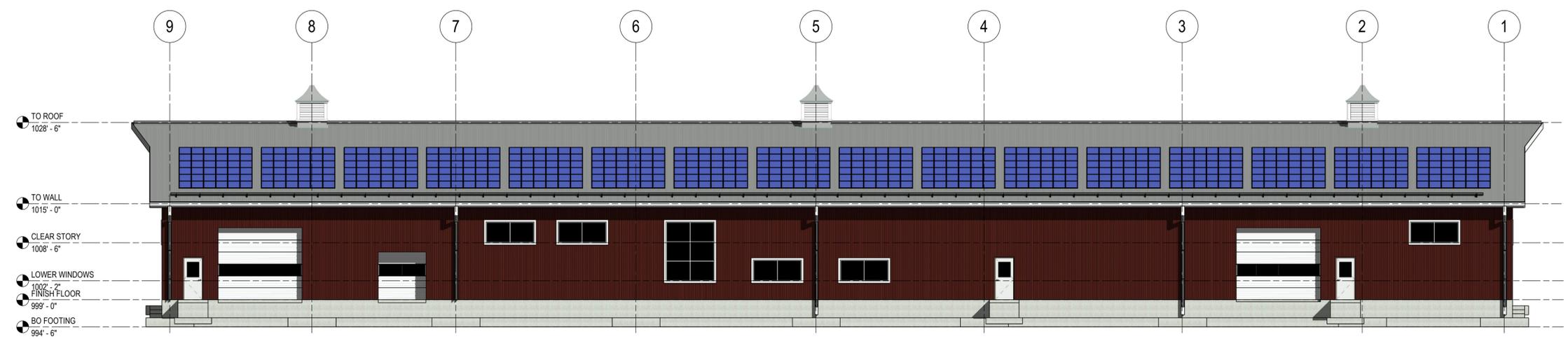
**C1** EAST ELEVATION  
3/32" = 1'-0"



**C4** WEST ELEVATION  
3/32" = 1'-0"



**B1** SOUTH ELEVATION  
3/32" = 1'-0"



**A1** NORTH ELEVATION  
3/32" = 1'-0"

NOT FOR CONSTRUCTION

1

2

3

4

5



PHOTO RENDERING - DRONE VIEW



PHOTO RENDERING - COUNTRY VIEW RD.

# GRAEF

5126 West Terrace Drive,  
Suite 111  
Madison, WI 53718-8346  
608 / 242 1550  
608 / 242 0787 fax

www.graef-usa.com

CLIENT:  
EPIC

PROJECT TITLE:  
WOOD SHOP

PROJECT ADDRESS  
ISSUE:

NOT FOR CONSTRUCTION

PROJECT INFORMATION:

PROJECT NUMBER: 2019-5012.00  
DATE: 11/21/19  
DRAWN BY: JDJ  
CHECKED BY:  
APPROVED BY:  
SCALE: AS NOTED

SHEET TITLE:  
RENDERINGS

SHEET NUMBER:

# A-901

C

B

A

11/22/2019 12:33:00 PM

1

2

3

4

5



# VERONA, WI

TOTAL POPULATION

13,107

POPULATION DENSITY

1,820

TOTAL AREA (sq. miles)

7.2

# OF LOCAL BICYCLE FRIENDLY BUSINESSES

0

# OF LOCAL BICYCLE FRIENDLY UNIVERSITIES

N/A

## 10 BUILDING BLOCKS OF A BICYCLE FRIENDLY COMMUNITY

	Average Silver	Verona
High Speed Roads with Bike Facilities	35%	50%
Total Bicycle Network Mileage to Total Road Network Mileage	48%	51%
Bicycle Education in Schools	GOOD	NEEDS IMPROVEMENT
Share of Transportation Budget Spent on Bicycling	11%	5%
Bike Month and Bike to Work Events	GOOD	ACCEPTABLE
Active Bicycle Advocacy Group	YES	NO
Active Bicycle Advisory Committee	MEETS EVERY TWO MONTHS	NONE
Bicycle-Friendly Laws & Ordinances	GOOD	ACCEPTABLE
Bike Plan is Current and is Being Implemented	YES	YES
Bike Program Staff to Population	1 PER 78K	1 PER 22K

## CATEGORY SCORES

<b>ENGINEERING</b> <i>Bicycle network and connectivity</i>	3.4 /10
<b>EDUCATION</b> <i>Motorist awareness and bicycling skills</i>	1.5 /10
<b>ENCOURAGEMENT</b> <i>Mainstreaming bicycling culture</i>	1.8 /10
<b>ENFORCEMENT</b> <i>Promoting safety and protecting bicyclists' rights</i>	3.1 /10
<b>EVALUATION &amp; PLANNING</b> <i>Setting targets and having a plan</i>	3.5 /10

## KEY OUTCOMES

	Average Silver	Verona
<b>RIDERSHIP</b> <i>Percentage of Commuters who bike</i>	2.7%	1.76%
<b>SAFETY MEASURES CRASHES</b> <i>Crashes per 10k bicycle commuters</i>	537	162.60
<b>SAFETY MEASURES FATALITIES</b> <i>Fatalities per 10k bicycle commuters</i>	6.3	0



## KEY STEPS TO SILVER



- » Adopt an official Complete Streets policy and create implementation guidance. Ensure that your community follows a bicycle facility selection criteria that increases separation and protection of bicyclists based on levels of motor vehicle speed and volume.
- » Work with local bicycle groups and interested parents to expand and improve the Safe Routes to School program to all schools. In particular, middle and high school education efforts could be improved.
- » Develop bicycle education opportunities for adults. Consider ways to target demographics who currently do not feel safe riding with classes or events that address their concerns.
- » Increase the number of local League Cycling Instructors (LCIs) in your community, either by hosting an LCI seminar or sponsoring a City staffer, Police Officer, and/or local bike advocate to attend an existing LCI seminar elsewhere.
- » Create an incentive program for businesses to provide standard bike parking, and to develop workplace bicycling programs for their

employees. Use the framework of the Bicycle Friendly Business program to engage with more local businesses, agencies, and organizations to promote cycling to their employees and customers.

- » Continue to build bike culture and promote cycling during Bike Month and throughout the year through a variety of signature events, rides, celebrations, commuter challenges, and more.
- » Develop a year-round bike patrol unit to improve bicyclist/officer relations, and ensure that law enforcement officers who are not certified or trained as bicycle patrol officers nevertheless have basic training in bicycle safety and traffic laws that apply to bicyclists and motorists sharing the road.
- » Appoint a staff member Bicycle & Pedestrian Coordinator or create a new position.
- » Create an official Bicycle & Pedestrian Advisory Committee (BPAC) to create a systematic method for ongoing citizen input into the development of important policies, plans, and projects.