

Plan Commission Application

City of Verona – Planning & Development Department

111 Lincoln Street
Verona, WI 53593-1520
(608) 848-9941

X	Description	Administrative Fee
	Annexation	\$ 300.00 + Taxes
	Conditional Use Permit	\$ 300.00
X	Site Plan	\$ 300.00
	Variance	\$ 300.00
	Zoning Map Amendment (From ____ To ____)	\$ 300.00
	Zoning Text Amendment	\$ 300.00
	Planned Unit Development Step 2: Concept	\$ 300.00
		Step 3: General Development Plan Review
		Step 4: Precise Implementation Plan Review
	Certified Survey Map (CSM)	\$ 150.00 + \$100/lot
	Preliminary Plat Review	\$ 300.00 + \$50/lot
	Final Plat Review	\$ 300.00 + \$25/lot
*NOTE: Administrative filing fees are due at the time an application is filed with the City and are not refundable. In addition to the Administrative fees, City staff time (City Engineer and City Attorney) will be charged back to the applicant. The Applicant will receive monthly invoices of payments due.		
Date: 10-13-16		
Project/Business Name: Verona Area School District		
Address/Location: 710 Lone Pine Way		
City, State, Zip Code: Verona, WI 53593		
Proposed Use of Property: Institutional / Athletic Fields		
Applicant: Verona Area School Districts		Property Owner: Verona Area School Districts
Address: 700 North Main Street		Address: 700 North Main Street
City/State/Zip: Verona, WI 53593		City/State/Zip: Verona, WI 53593
Phone: 608-845-4300		Phone: 608-845-4300
E-mail: dean.gorrell@verona.k12.wi.us		E-mail: dean.gorrell@verona.k12.wi.us
Signature:		Signature:

By filing the application that results in a public hearing, the applicant agrees and consents to the placement of a sign on his or her property. The applicant also agrees that the sign shall be left in the location(s) chosen by the Zoning Administrator until after the public hearing occurs, unless the application is formally withdrawn by the applicant prior to the public hearing. The applicant shall periodically check the sign to verify that the sign has not been removed and has not been modified or vandalized. The applicant shall immediately notify the Zoning Administrator if the sign was removed or if the sign was modified or vandalized.

VERONA



**Country View Elementary School
Athletic Fields Improvements**

Site Plan Submittal

October 13, 2016

Project Intent

The Verona Area School District (VASD) is proposing site improvements and facilities associated with the VASD softball fields located at the Country View Elementary School. These improvements will include constructing an off-street parking lot, stormwater treatment facility and regrading and restoring the adjacent athletic field currently used by the VASD LaCrosse program. VASD has been coordinating the design of these improvements with city staff in conjunction with the cities discussion regarding development of the adjoining neighborhood.

Project Location

The property is currently zoned Public Institutional, and is located on Hemlock Drive. This site is immediately adjacent to the softball fields.

Proposed Improvements - Concept Site Plan

The primary intention of these site improvements is to provide beneficial vehicular circulation and off-street parking for these facilities, which are home for varsity and junior varsity girls softball. The parking lot will include sixty (64) vehicle stalls, four (4) of which are ADA accessible stalls, bus drop-off and pick-up areas and will include a single driveway connection to Hemlock Drive. The improvements will require shifting the existing LaCrosse field to the south to make room for the parking lot.

Hemlock Street Extension

The City of Verona is currently planning the extension of the adjacent Hemlock Street. The alignment will require removal of a minor portion of the existing evergreen tree screening from the softball diamond outfield. The amount of Hemlock Drive extension has not been finalized but preliminary plans indicate it will require removal of portions of the existing evergreen trees. VASD is proposing to install a 12' tall netting system that would be located approximately 5-6' beyond the outfield fence. The total length would be approximately 180 linear feet. This system will not be a permanent barrier. It will include hardware that will allow it to be raised and lowered as needed. The design will include a structural review for wind loads to properly size the posts and foundations required for this system, and will be prepared and sealed by a registered structural engineer.

Landscape Plan and Municipal Requirements

The parking lot will be constructed of asphalt and will be landscaped to meet the approval of the City's established ordinance "point" system. The landscaping within and surrounding the parking lot will include deciduous overstory trees to provide shade and various shrubs and perennials to accent the main entrance sign to the parking lot. A landscape buffer will be planted between the parking lot and Hemlock Street.

Stormwater Management

Per discussions with City director of public works on 10/7/16:

Stormwater runoff from the new parking lot pavement will be conveyed via storm sewer and swale to the existing wet detention basin located due south of the proposed parking lot. The existing wet detention basin will provide required total suspended solids and runoff rate control requirements. Thermal control and infiltration will not be provided by existing detention basin.

To meet infiltration and thermal control requirements, a proposed basin will be designed and constructed on VASD property to meet City and WDNR requirements for the equivalent parking lot area.

VASD COUNTRY VIEW ELEMENTRY

PARKING LOT IMPROVEMENTS
CITY OF VERONA, WI
DANE COUNTY

OCTOBER 2016

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
VERONA AREA
SCHOOL DISTRICTS

PROJECT:
COUNTRY VIEW
ELEMENTARY

PROJECT LOCATION:
CITY OF VERONA
DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

**PRELIMINARY
NOT FOR CONSTRUCTION**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: MSS 10/12/2016
DRAWN: MSS 10/12/2016
APPROVED: HPJ

PLAN MODIFICATIONS:	DATE:
SITE PLAN SUBMITTAL	10-13-16

DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
TS0.0

DRAWING INDEX

SHEET NO.	TITLE
TS0.0	TITLE SHEET
EXISTING CONDITIONS MAPS	
C0.1	TOPOGRAPHIC AND UTILITY MAP
CIVIL PLAN(S)	
C1.0	OVERALL SITE PLAN
C1.1	PARKING LOT SITE PLAN
C2.0	GRADING AND EROSION CONTROL PLAN
C3.0	UTILITY PLAN
C4.0	DETAILS
LANDSCAPE PLAN	
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS, NOTES AND SPECIFICATIONS



PROJECT AREA

SCALE: NTS



PROJECT CONTACTS

OWNER CONTACT

VERONA AREA SCHOOL DISTRICT
700 NORTH MAIN STREET, VERONA WI 53593

CONTACT: KEN KIETZKE - DIRECTOR OF BUILDING & GROUNDS
P: 608-845-4540
F: 608-845-3136
E: kietzkek@verona.k12.us

CONTACT: BRIAN MILLER
P: 608-575-5976
E: brian.miller@verona.k12.us

PROFESSIONAL DESIGN CONSULTANT

JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE SUITE 101
VERONA, WI 53593

CONTACT: HANS JUSTESON - SENIOR PROJECT CONSULTANT
P: 608-848-5060
E: hans.justeson@jsdinc.com

CONTACT: MATT HAASE - PROJECT ENGINEER
P: 608-848-5060
E: matt.haase@jsdinc.com

CONTACT: KEVIN YESKA - PROJECT LANDSCAPE DESIGNER
P: 608-848-5060
E: kevin.yeska@jsdinc.com

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

www.jsdinc.com

SERVICES PROVIDED TO:
VERONA AREA SCHOOL DISTRICT

PROJECT:
COUNTRYVIEW ELEMENTARY PARKING LOT IMPROVEMENTS

PROJECT LOCATION:
 VERONA
 DANE COUNTY, WI
 JSD PROJECT NO.: 16-7474-CVE

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:
 DRAWN: CJO 09-27-16
 APPROVED:

PLAN MODIFICATIONS:	DATE:

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
EXISTING TOPOGRAPHIC AND UTILITY MAP

MAP NO: C-*

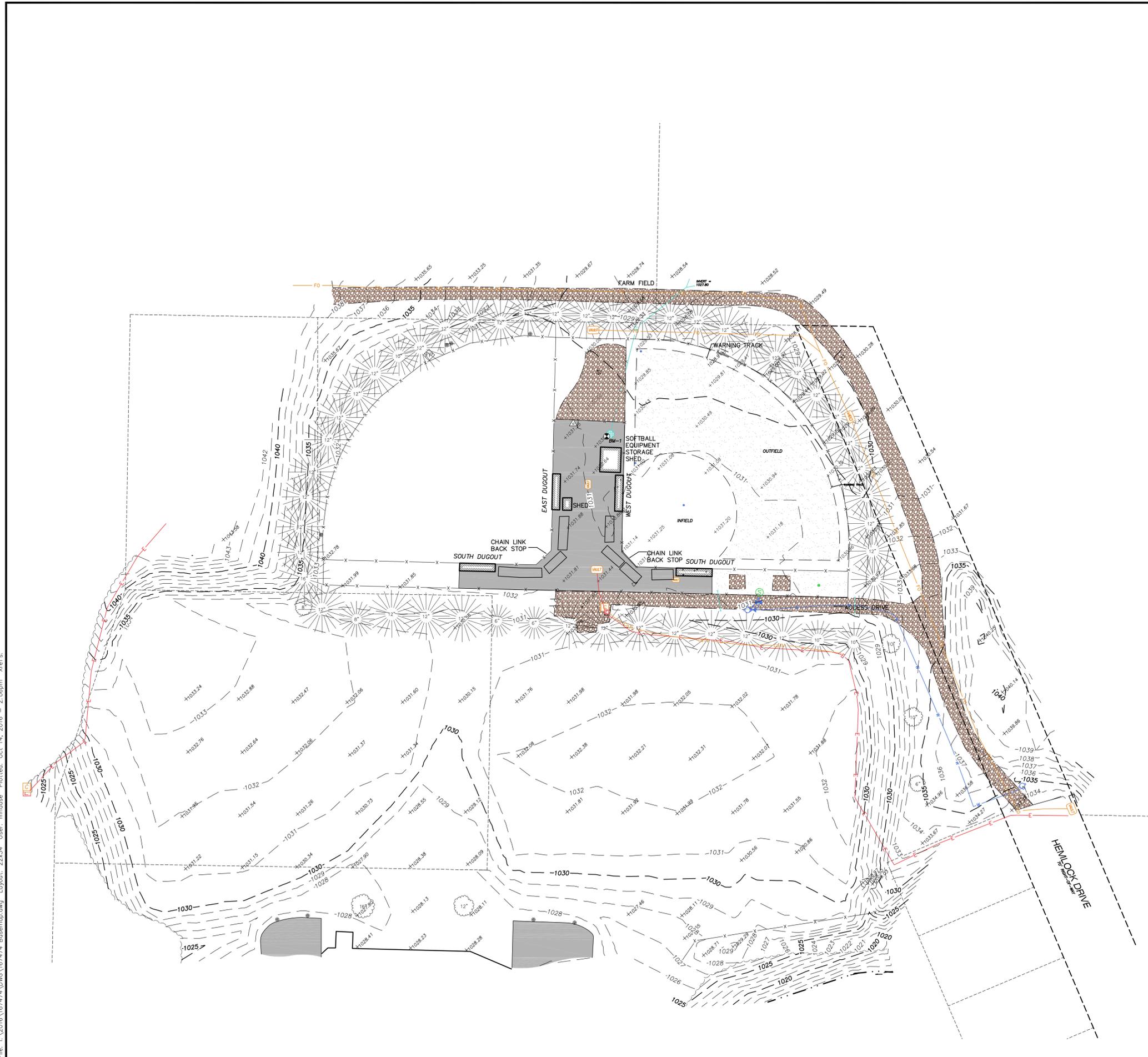
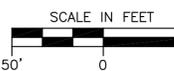
SHEET NUMBER:
C0.1

LEGEND

- SANITARY MANHOLE
- WATER MANHOLE
- HYDRANT
- WATERMAIN OR GASMAIN VALVE
- CURB STOP/SERVICE VALVE
- SPRINKLER HEAD
- ROUND CASTED INLET
- ENDWALL/END OF PIPE
- ELECTRIC TRANSFORMER
- VAULT
- TELEPHONE PEDESTAL
- CONIFEROUS TREE
- RIGHT-OF-WAY LINE
- PLATTED LOT LINE
- FENCE LINE
- EDGE OF GRAVEL
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- 875 INDEX CONTOUR
- 874 INTERMEDIATE CONTOUR
- 874.25 SPOT ELEVATION
- BITUMINOUS PAVEMENT
- GRAVEL
- EDGE OF BITUMINOUS

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON SEPTEMBER 12 & 22, 2016.
2. THIS MAP IS NOT INTENDED TO BE A PROPERTY SURVEY AS DEFINED BY WISCONSIN ADMINISTRATIVE CODE A-E7.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20163804481, 20163817365 AND 20163817365 WITH A CLEAR DATE OF SEPTEMBER 21, 2016.
7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 CITY OF VERONA
 MGE (ELECTRIC AND GAS)
 ALLIANT ENERGY (ELECTRIC AND GAS)
 TDS TELECOM - VERONA
 VERONA AREA SCHOOL DISTRICT V
 CHARTER COMMUNICATIONS
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
8. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
10. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.



- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
**VERONA AREA
 SCHOOL DISTRICTS**

PROJECT:
**COUNTRY VIEW
 ELEMENTARY**

PROJECT LOCATION:
 CITY OF VERONA
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

**PRELIMINARY
 NOT FOR CONSTRUCTION**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: MSS 10/12/2016
 DRAWN: MSS 10/12/2016
 APPROVED: HPJ

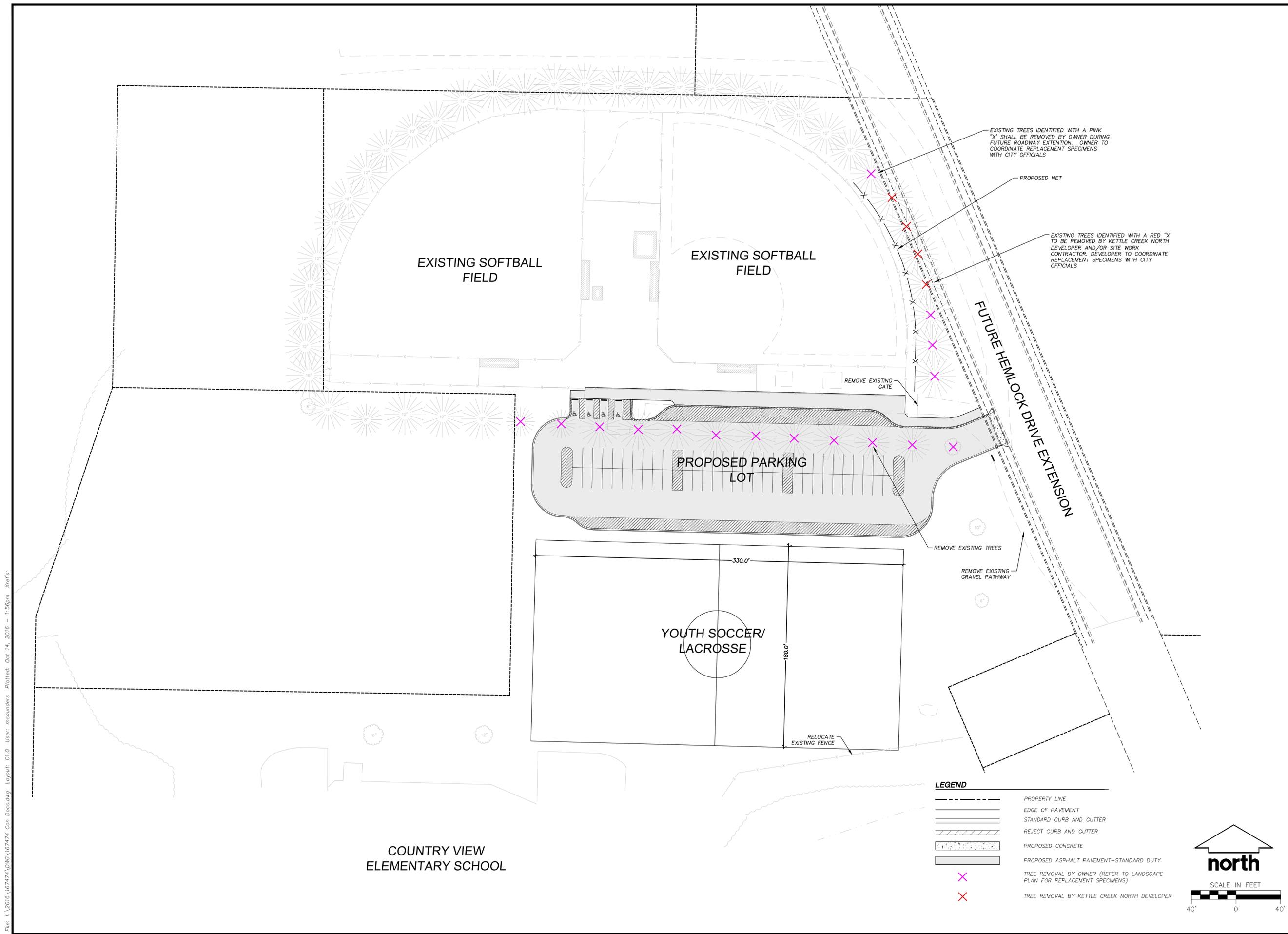
PLAN MODIFICATIONS:	DATE:
SITE PLAN SUBMITTAL	10-13-16



Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C-1.0



EXISTING
SOFTBALL FIELD

FUTURE HEMLOCK DRIVE EXTENSION

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF VERONA REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINE (EXCEPT FOR PROPOSED SWALE AND APRON ENDWALL).
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - REFER TO GEOTECHNICAL REPORT PREPARED BY PSI INC. DATED JUNE 17, 2016 FOR SITE EVALUATION, RECOMMENDATIONS AND CONSIDERATIONS.

- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF VERONA.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER CITY OF VERONA SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	LOT 1 OF CSM NO. 11107
Site Acreage (total)	20.05
Use of property	Public Institutional / Athletics
Number of parking stalls:	
Surface	
Large Stall	60
Accessible	4
Total Surface	64
Proposed Impervious Surface Area (Parking Lot)	44,479 SF

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU
 www.jsdinc.com

SERVICES PROVIDED TO:
**VERONA AREA
 SCHOOL DISTRICTS**

PROJECT:
**COUNTRY VIEW
 ELEMENTARY**

PROJECT LOCATION:
 CITY OF VERONA,
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

**PRELIMINARY
 NOT FOR CONSTRUCTION**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

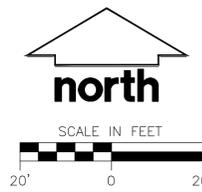
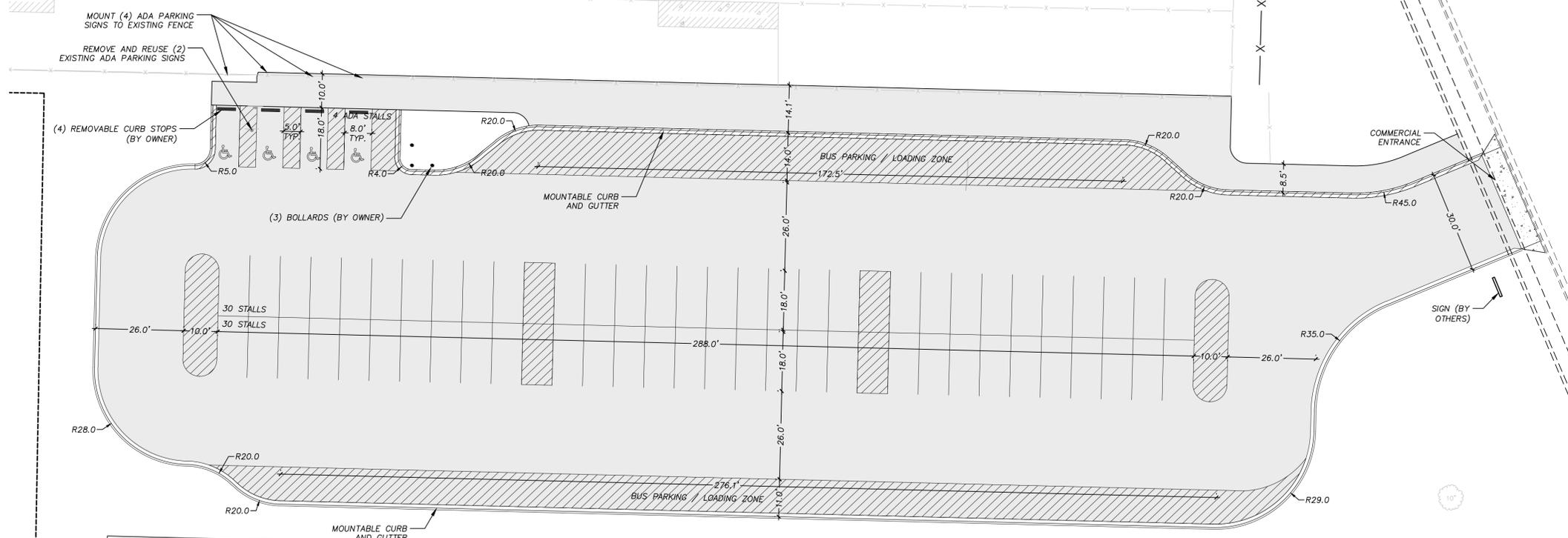
DESIGN:	MSS	10/12/2016
DRAWN:	MSS	10/12/2016
APPROVED:	HPJ	
PLAN MODIFICATIONS:	DATE:	
SITE PLAN SUBMITTAL		10-13-16

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

SHEET TITLE:
**PARKING LOT
 SITE PLAN**

SHEET NUMBER:
C-1.1



File: I:\2016\167474\DWG\167474_Con_Dess.dwg Layout: C1.1 User: msandurs Plotted: Oct 14, 2016 - 1:59pm Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

EXISTING
SOFTBALL FIELD

YOUTH SOCCER/
LACROSSE

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	STORM SEWER
	SILT FENCE
	CONSTRUCTION LIMITS
	SPOT ELEVATION
	EP - EDGE OF PAVEMENT
	FG - FINISH GRADE
	EC - EDGE OF CONCRETE
	TS - TOP OF STEP
	TS - BOTTOM OF STEP
	RIM - RIM ELEVATION
	GRADE BREAK

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF VERONA REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINE (EXCEPT FOR PROPOSED SWALE AND APRON ENDWALL).
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - REFER TO GEOTECHNICAL REPORT PREPARED BY PSI INC. DATED JUNE 17, 2016 FOR SITE EVALUATION, RECOMMENDATIONS AND CONSIDERATIONS.

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

www.jsdinc.com

SERVICES PROVIDED TO:
**VERONA AREA
 SCHOOL DISTRICTS**

PROJECT:
**COUNTRY VIEW
 ELEMENTARY**

PROJECT LOCATION:
 CITY OF VERONA
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

**PRELIMINARY
 NOT FOR CONSTRUCTION**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	MSS	10/12/2016
DRAWN:	MSS	10/12/2016
APPROVED:	HPJ	
PLAN MODIFICATIONS:		DATE:
SITE PLAN SUBMITTAL		10-13-16

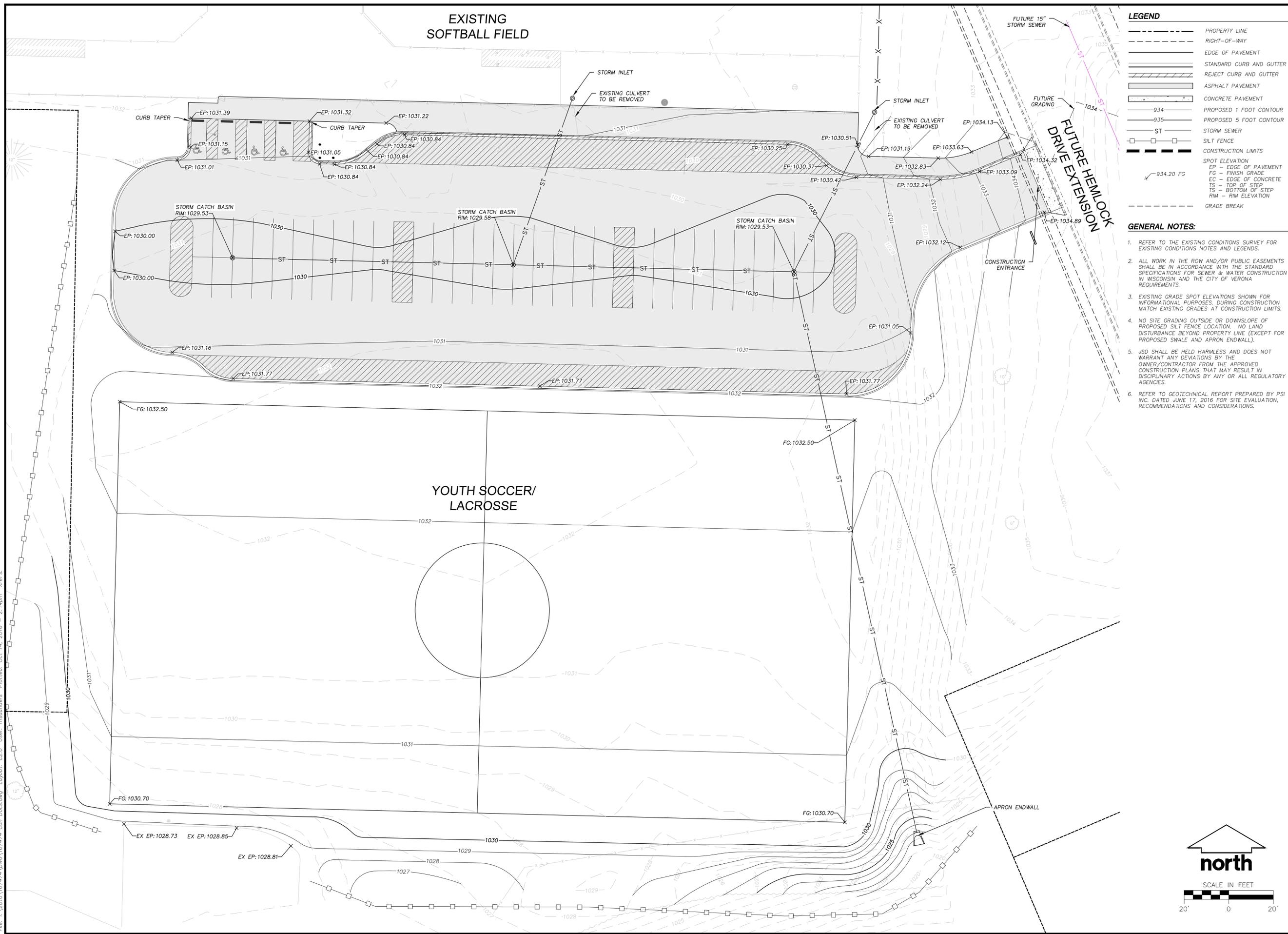
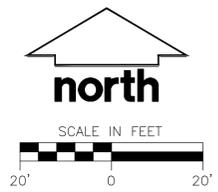
DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
**GRADING AND
 EROSION CONTROL
 PLAN**

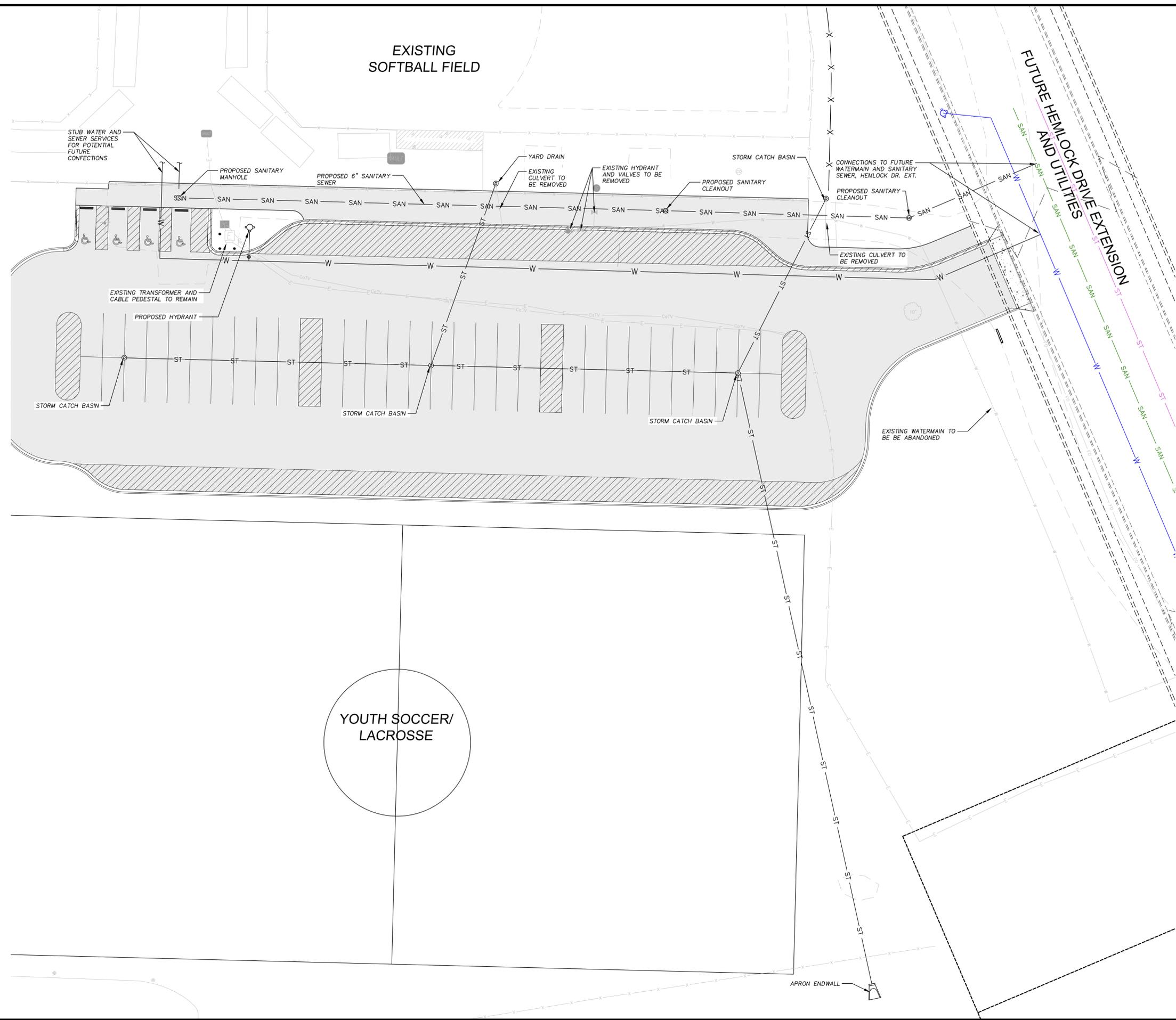
SHEET NUMBER:
C-2.0

File: I:\2016\167474\DWG\167474_Con_Decs.dwg Layout: C2.0 User: msaunders Plotted: Oct 14, 2016 - 2:14pm Xref's:



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2016\167474\DWG\167474_Con_Docs.dwg Layout: C3.0 User: msaunders Plotlet: Oct 14, 2016 - 2:20pm Xref:s:



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
---	SAN SANITARY SEWER
- - - -	W WATERMAIN
---	ST STORM SEWER

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE CITY OF VERONA REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINE (EXCEPT FOR PROPOSED SWALE AND APRON ENDWALL).
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - REFER TO GEOTECHNICAL REPORT PREPARED BY PSI INC. DATED JUNE 17, 2016 FOR SITE EVALUATION, RECOMMENDATIONS AND CONSIDERATIONS.

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
VERONA AREA SCHOOL DISTRICTS

PROJECT:
COUNTRY VIEW ELEMENTARY

PROJECT LOCATION:
 CITY OF VERONA
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

PRELIMINARY
 NOT FOR CONSTRUCTION

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	MSS	10/12/2016
DRAWN:	MSS	10/12/2016
APPROVED:	HPJ	

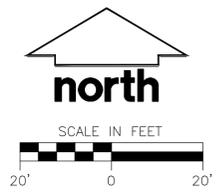
PLAN MODIFICATIONS:	DATE:
SITE PLAN SUBMITTAL	10-13-16

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 253-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-3.0



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU
www.jsdinc.com

SERVICES PROVIDED TO:
**VERONA AREA
 SCHOOL DISTRICTS**

PROJECT:
**COUNTRY VIEW
 ELEMENTARY**

PROJECT LOCATION:
 CITY OF VERONA
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

**PRELIMINARY
 NOT FOR CONSTRUCTION**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: MHTG 10-12-16
 DRAWN: MHTG 10-12-16
 APPROVED: HPJ/MAS 10-13-16

PLAN MODIFICATIONS: DATE:
 SITE PLAN SUBMITTAL 10-13-16

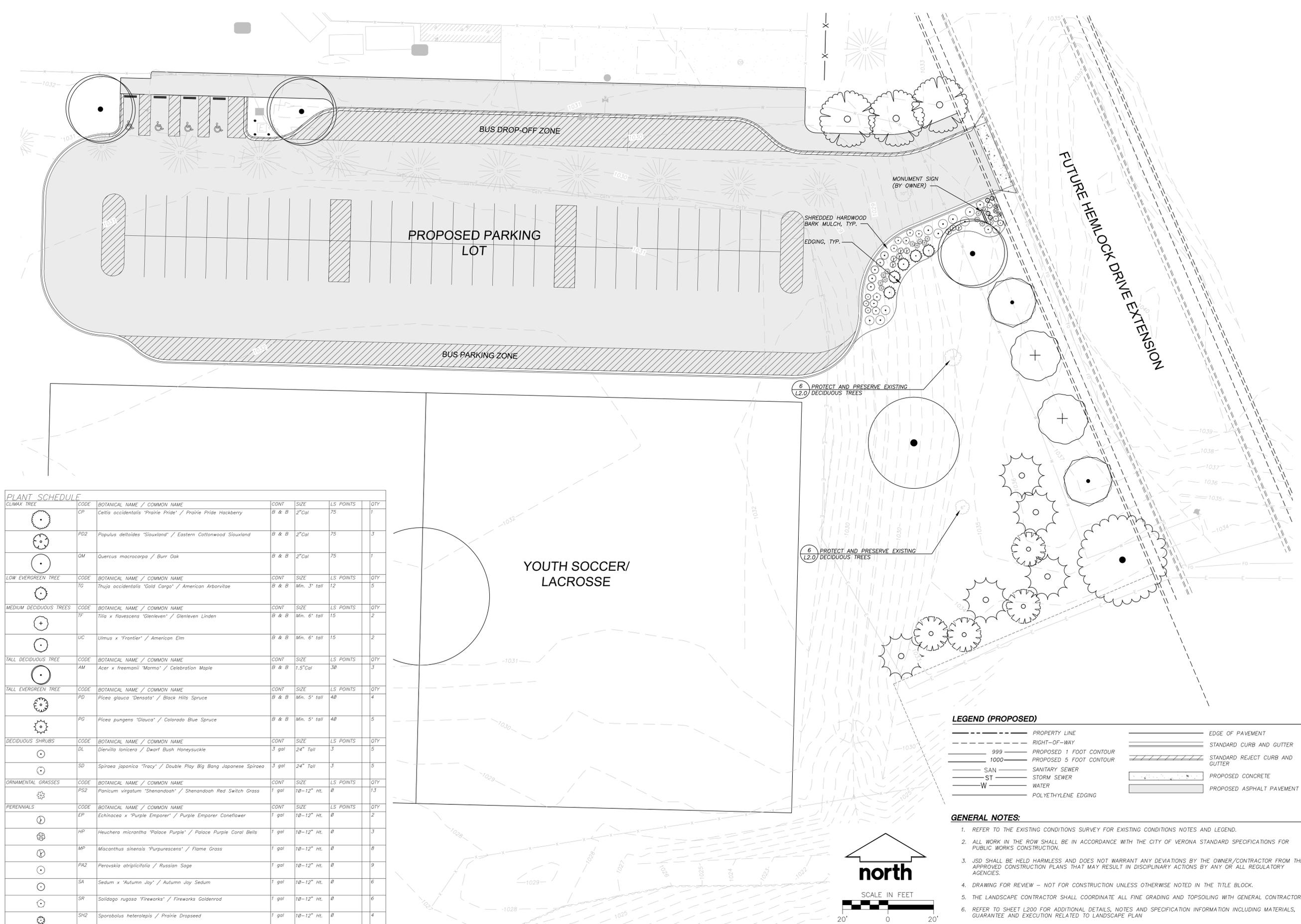


Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L1.0

File: L:\2016\167474\DWG\16-7474 Landscape Plan.dwg Layout: L1.0 User: kyska Plotted: Oct 13, 2016 - 12:52pm Xref's: 16-7474 Country View Elementary



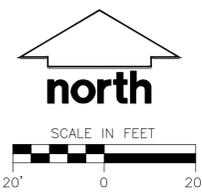
PLANT SCHEDULE						
CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS	QTY	
CLIMAX TREE						
CP	<i>Celtis occidentalis</i> "Prairie Pride" / Prairie Pride Hackberry	B & B	2" Cal	75	1	
P02	<i>Populus deltoides</i> "Siouxland" / Eastern Cottonwood Siouxland	B & B	2" Cal	75	3	
OM	<i>Quercus macrocarpa</i> / Burr Oak	B & B	2" Cal	75	1	
LOW EVERGREEN TREE						
TG	<i>Thuja occidentalis</i> "Gold Cargo" / American Arborvitae	B & B	Min. 3' tall	12	5	
MEDIUM DECIDUOUS TREES						
TF	<i>Tilia x flavescens</i> "Glenleven" / Glenleven Linden	B & B	Min. 6' tall	15	2	
UC	<i>Ulmus x "Frontier"</i> / American Elm	B & B	Min. 6' tall	15	2	
TALL DECIDUOUS TREE						
AM	<i>Acer x freemanii</i> "Marmo" / Celebration Maple	B & B	1.5" Cal	30	3	
TALL EVERGREEN TREE						
PD	<i>Picea glauca</i> "Densata" / Black Hills Spruce	B & B	Min. 5' tall	40	4	
PG	<i>Picea pungens</i> "Glauca" / Colorado Blue Spruce	B & B	Min. 5' tall	40	5	
DECIDUOUS SHRUBS						
DL	<i>Dierrevilla ignicarpa</i> / Dwarf Bush Honeysuckle	3 gal	24" Tall	3	5	
SD	<i>Spiraea japonica</i> "Tracy" / Double Play Big Bang Japanese Spiraea	3 gal	24" Tall	3	5	
ORNAMENTAL GRASSES						
PS2	<i>Panicum virgatum</i> "Shenandoah" / Shenandoah Red Switch Grass	1 gal	18"-12" Ht.	0	13	
PERENNIALS						
EP	<i>Echinacea x "Purple Emperor"</i> / Purple Emperor Coneflower	1 gal	18"-12" Ht.	0	2	
HP	<i>Heuchera micrantha</i> "Palace Purple" / Palace Purple Coral Bells	1 gal	18"-12" Ht.	0	3	
MP	<i>Miscanthus sinensis</i> "Purpureusens" / Flame Grass	1 gal	18"-12" Ht.	0	8	
PA2	<i>Perovoskia atriplicifolia</i> / Russian Sage	1 gal	18"-12" Ht.	0	9	
SA	<i>Sedum x "Autumn Joy"</i> / Autumn Joy Sedum	1 gal	18"-12" Ht.	0	6	
SR	<i>Solidago rugosa</i> "Fireworks" / Fireworks Goldenrod	1 gal	18"-12" Ht.	0	6	
SH2	<i>Sporobolus heterolepis</i> / Prairie Dropseed	1 gal	18"-12" Ht.	0	4	

LEGEND (PROPOSED)

---	PROPERTY LINE	---	EDGE OF PAVEMENT
---	RIGHT-OF-WAY	---	STANDARD CURB AND GUTTER
---	PROPOSED 1 FOOT CONTOUR	---	STANDARD REJECT CURB AND GUTTER
---	PROPOSED 5 FOOT CONTOUR	---	PROPOSED CONCRETE
---	SANITARY SEWER	---	PROPOSED ASPHALT PAVEMENT
---	STORM SEWER		
---	WATER		
---	POLYETHYLENE EDGING		

GENERAL NOTES:

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF VERONA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN



"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

www.jsdinc.com

SERVICES PROVIDED TO:

VERONA AREA SCHOOL DISTRICTS

COUNTRY VIEW ELEMENTARY

PROJECT LOCATION:
 CITY OF VERONA
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

PRELIMINARY
NOT FOR CONSTRUCTION

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: MHTG 10-12-16
 DRAWN: MHTG 10-12-16
 APPROVED: HPJ/MAS 10-13-16

PLAN MODIFICATIONS: DATE:
 SITE PLAN SUBMITTAL 10-13-16



Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

SHEET TITLE:
LANDSCAPE DETAILS, NOTES, AND SPECIFICATIONS

SHEET NUMBER:

L2.0

GENERAL NOTES

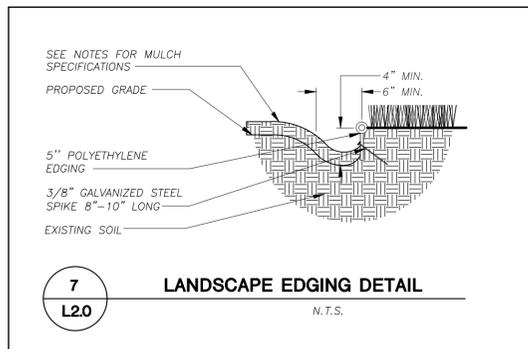
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. DO NOT MAKE ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE, SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE WOUND AREA WITH AN ANGLED 45 DEGREE'S INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- CLEANUP: DISPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL CONFORM TO LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. HARDWOOD BARK MULCH SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.

LANDSCAPE MATERIAL NOTES

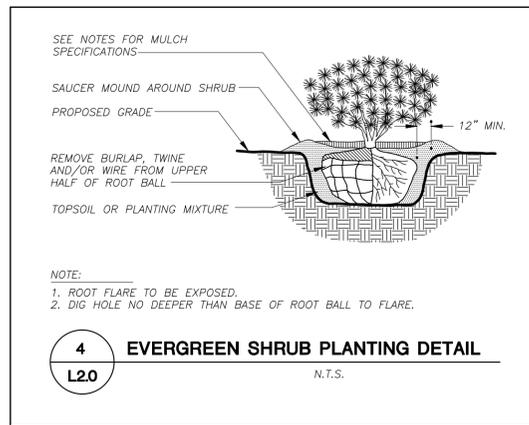
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 A. PLANTING AREAS = 24"
 B. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. HARDWOOD BARK MULCH SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 6" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREE'S INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPET'S "MADISON PARKS" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

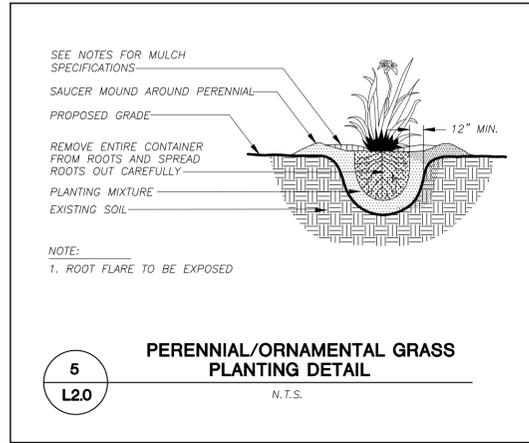
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR MULCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



7 LANDSCAPE EDGING DETAIL
 L2.0 N.T.S.



4 EVERGREEN SHRUB PLANTING DETAIL
 L2.0 N.T.S.



5 PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
 L2.0 N.T.S.

POINT REQUIREMENT 1: STREET FRONTAGE

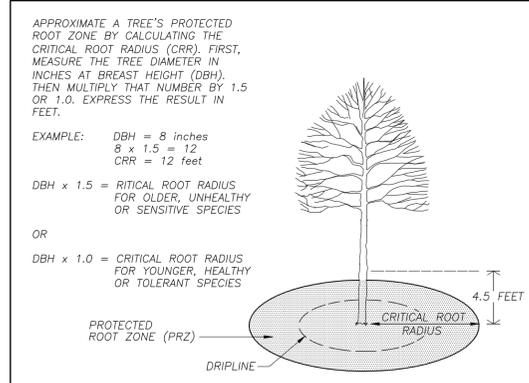
Zoning: Neighborhood Commercial P1 - Nonresidential Zoning: 536 Linear Feet of Street Frontage
 Calculation: 40 Landscape Points per 100 L.F.
 Calculation Formula: (536 Feet of Street Frontage / 100 Linear Feet) x 40 Points per 100 L.F. = 214
 Total Points Required: 214 Total Points
 Total Points Provided: 240 Total Points
 Code of Ordinances: Mn. 50% of Points to be Climax Trees or Tall Trees, Mn. 30% of Points to be Small Trees To be located a maximum of 10' from R-O-W; no shrubs used to meet requirement

Species: Scientific Name	Species: Common Name	QTY	POINTS	TOTAL POINTS
<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Hackberry	1	75	75
<i>Populus deltoides</i> 'Siouxland'	Eastern Cottonwood Siouxland	1	75	75
<i>Acer x freemanii</i> 'Marmo'	Celebration Maple	1	30	30
<i>Tilia x flavescens</i> 'Glenleven'	Glenleven Linden	2	15	30
<i>Ulmus x 'Frontier'</i>	American Elm	2	15	30
				Total Points = 240

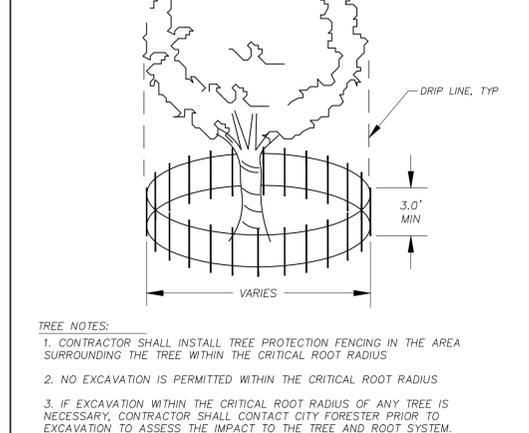
POINT REQUIREMENT 2: PAVED AREA

Zoning: Neighborhood Commercial P1 - Nonresidential Zoning: 44,479 Sq. Ft. of Pavement
 Calculation 1: Greater of 80 Landscape Points per 20 Stalls or 80 Points per 10,000 Sq. Ft. of Paved Area
 Calculation 1 Formula: (44,479 Sq. Ft. of Paved Area / 10,000 Sq. Ft.) x 80 Points = 356
 Total Points Required: 358 Total Points
 Total Points Provided: 1599 Total Points
 Code of Ordinances: Mn. 30% of Points to be Climax Trees, Mn. 40% of Points to be Shrubs 360 Sq. Ft. of landscape area for every 100 Points required

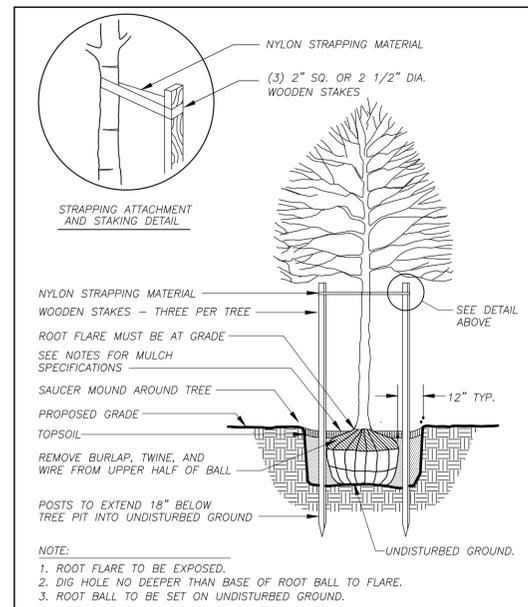
Species: Scientific Name	Species: Common Name	QTY	POINTS	TOTAL POINTS
Existing Tall Deciduous Tree		3	30	90
Existing Tall Evergreen Tree Surrounding Softball Fields		12	40	480
<i>Populus deltoides</i> 'Siouxland'	Eastern Cottonwood Siouxland	2	75	150
<i>Quercus macrocarpa</i>	Burr Oak	1	75	75
<i>Acer x freemanii</i> 'Marmo'	Celebration Maple	2	30	60
<i>Thuja occidentalis</i> 'Gold Cargo'	American Arborvitae	5	12	60
<i>Picea glauca</i> 'Densata'	Black Hills Spruce	4	40	160
<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	5	40	200
<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	5	3	15
<i>Spiraea japonica</i> 'Tracy'	Double Play Big Bang Japanese Spiraea	5	3	15
				Total Points = 1305
				Overall Total Points = 1545



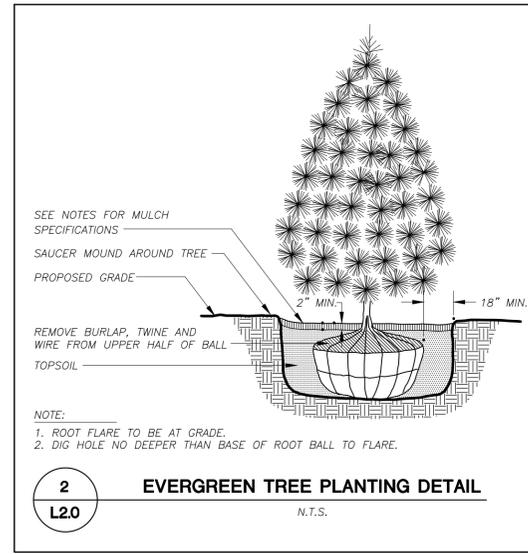
6 TREE PROTECTION DETAIL
 L2.0 N.T.S.



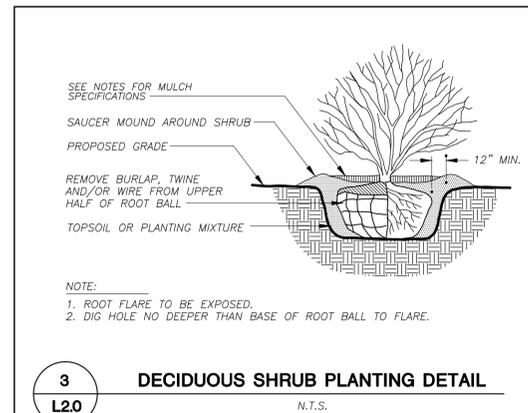
6 TREE PROTECTION DETAIL
 L2.0 N.T.S.



1 DECIDUOUS TREE PLANTING DETAIL
 L2.0 N.T.S.



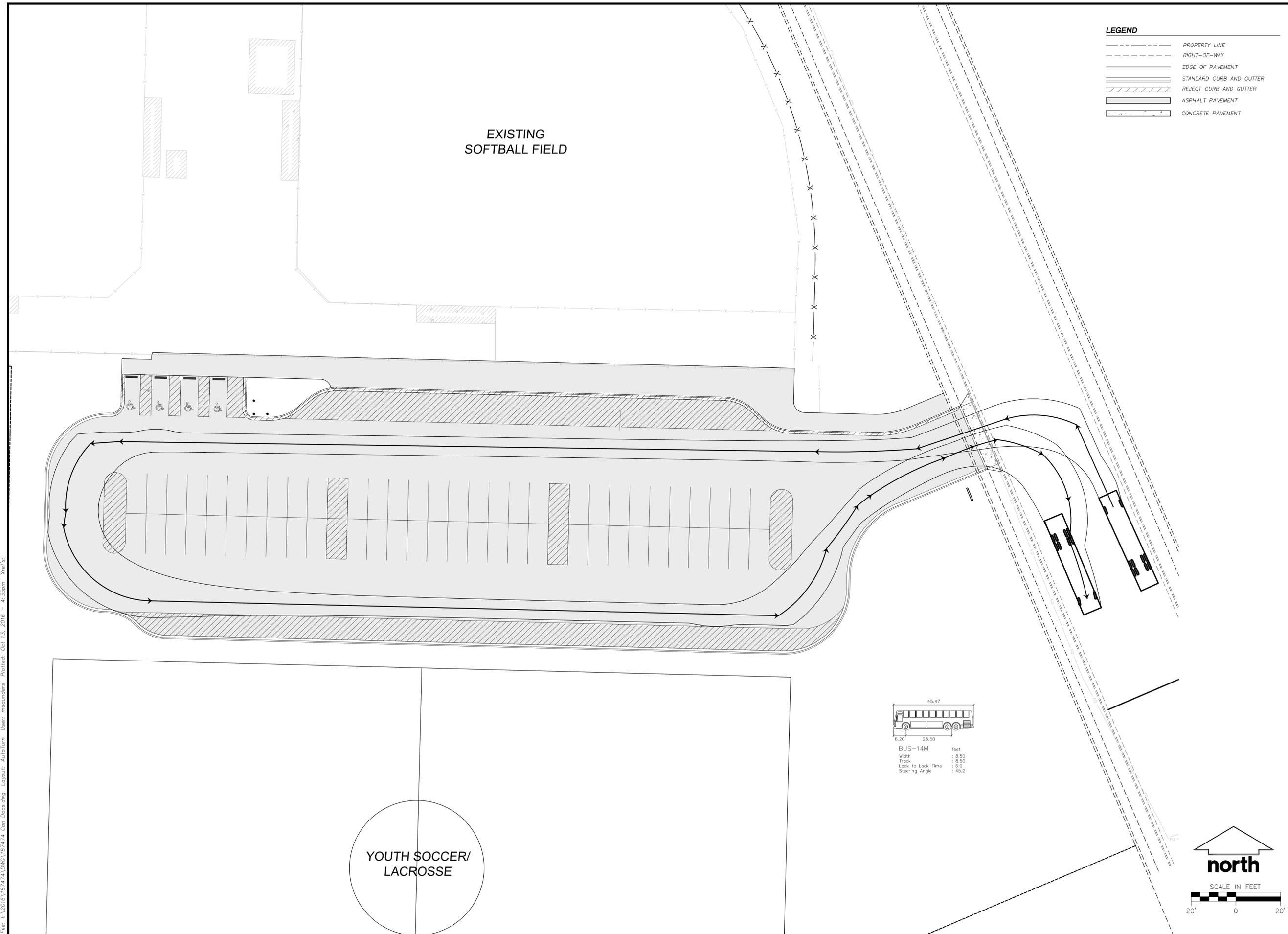
2 EVERGREEN TREE PLANTING DETAIL
 L2.0 N.T.S.



3 DECIDUOUS SHRUB PLANTING DETAIL
 L2.0 N.T.S.

File: I:\2016\167474\DWG\16-7474 Landscape Plan.dwg Layout: L2.0 User: Mysaka Plotted: Oct 13, 2016 - 12:52pm Xref's: 16-7474 Country View Elementary

File: I:\2016\167474\DWG\167474_Con_Docs.dwg Layout: AutoTurn User: msanders Plotted: Oct 13, 2016 - 4:35pm Xref's:



JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

www.jsdinc.com

SERVICES PROVIDED TO:
VERONA AREA SCHOOL DISTRICTS

PROJECT:
COUNTRY VIEW ELEMENTARY

PROJECT LOCATION:
 CITY OF VERONA
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7474

SEAL/SIGNATURE:

**PRELIMINARY
 NOT FOR CONSTRUCTION**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	MHTG	10-12-16
DRAWN:	MHTG	10-12-16
APPROVED:	HPJ/MAS	10-13-16

PLAN MODIFICATIONS:	DATE:
SITE PLAN SUBMITTAL	10-13-16

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
AUTO-TURN EXHIBIT

SHEET NUMBER:
EXHIBIT

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.