



**416 East Verona Ave.
Letter of Intent**

December 8, 2016

Mr. Adam Sayre, AICP
Director of Planning & Development, City of Verona
111 Lincoln Street
Verona, WI 53593

Re: Letter of Intent
416 East Verona Ave., mixed use development
Final Design Review

Mr. Sayre, City Staff, and Plan Commission members:

Our development team is again submitting this Letter of Intent and enclosed drawings for a new Mixed Use development proposed at 416 East Verona Avenue. Subsequent to the concept review and feedback received at the Plan Commission meeting in November, we have refined our site and building design and are submitting it here for final approval.

Project Design

This development constitutes a 3,000 square foot building footprint, with two stories. The first floor will be retail/office use, 2,400 net square feet. The second floor will have two, two-bedroom apartments.

The building will be fronted on two sides, with access from both the north parking lot and from East Verona Avenue.

Fourteen parking spaces will be provided on site, located on the north side of the property. Access will be gained via E Verona Rd. Cross-access at the back of the site has not been granted at this time, so that change has been made to the design.

Building height will be approximately 30' tall to the top of a mechanical screen wall and architectural element. Building exterior materials will consist of: Brick Masonry, LP Spartside siding, and flat-seam metal panel. Color illustrations have been provided.

Project Schedule

It is expected that construction would begin in early spring 2017, with occupancy in fall 2017.

Conclusion

Thank you for your time in reviewing our proposal. We look forward to discuss this project with you at the forthcoming Plan Commission meeting. In the interim, should there be any questions that I can address prior to the meeting, please do not hesitate to contact me directly.

Respectfully,

SHULFER ARCHITECTS, LLC

A handwritten signature in black ink, appearing to read 'Steve Shulfer', is written over the company name.

Steve Shulfer, AIA

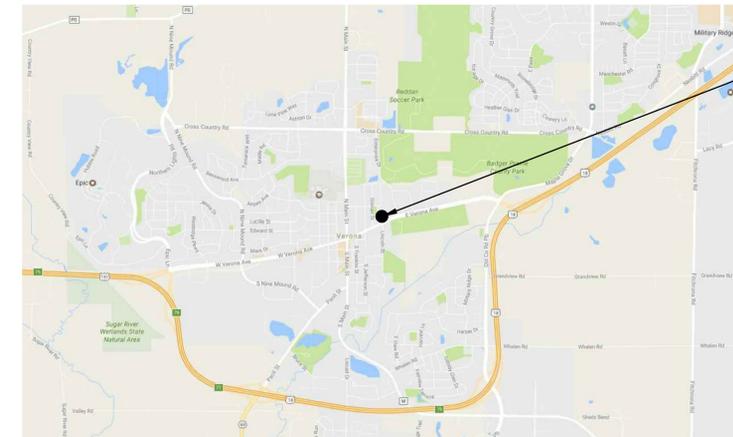
PLAN COMMISSION SUBMITTAL FOR FINAL APPROVAL

EAST VERONA AVE. MIXED-USE DEVELOPMENT

416 E. VERONA AVE.
VERONA, WISCONSIN 53593



PROJECT LOCATION MAP:



PROJECT LOCATION

PROJECT DATA:

LOCATION: 416 E. VERONA AVE.
VERONA, WI, 53593

REGULATING MUNICIPALITIES:
CITY OF VERONA
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF VERONA ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2009 INTERNATIONAL BUILDING CODE

CONSTRUCTION TYPE:
TYPE "VB"
TWO STORY
PARTIALLY SPRINKLERED

OCCUPANCY:
FIRST FLOOR - "B" BUSINESS
SECOND FLOOR - "R-3" RESIDENTIAL

ALLOWABLE BUILDING AREA:
FIRST FLOOR AREA = 3,129 SF
SECOND FLOOR AREA = 2,675 SF
TOTAL BUILDING AREA = 5,804 SF

TOTAL ALLOWABLE AREA (B) = 9,000 SF
TOTAL ALLOWABLE AREA (R-3) = UL

OCCUPANCY CALCS:
BUSINESS @ 100 GROSS = 31 OCC
RESIDENTIAL @ 200 GROSS = 13 OCC

PLUMBING:
REQUIRED:
BUSINESS
MEN @ 1/25, 1/50 TOILET = 1, LAV = 1
WOMEN @ 1/25, 1/50 TOILET = 1, LAV = 1
TOTAL REQ'D = 2 = 2
TOTAL PROVIDED = 2 = 2

RESIDENTIAL
MEN @ 1/10 TOILET = 2, LAV = 2
WOMEN @ 1/10 TOILET = 2, LAV = 2
TOTAL REQ'D = 4 = 4
TOTAL PROVIDED = 4 = 4

FIRE CONTROL:
THIS IS A PARTIALLY-SPRINKLERED BUILDING NFPA-13R

EXIT TRAVEL DISTANCE:
NON-SPRINKLERED AREA (B) = 200 FT MAX TRAVEL
FULLY-SPRINKLERED AREA (R-3) = 250 FT MAX TRAVEL
75 FT COMMON PATH OF TRAVEL

ACCESSIBILITY:
PER ANSI A117.1

PRELIMINARY

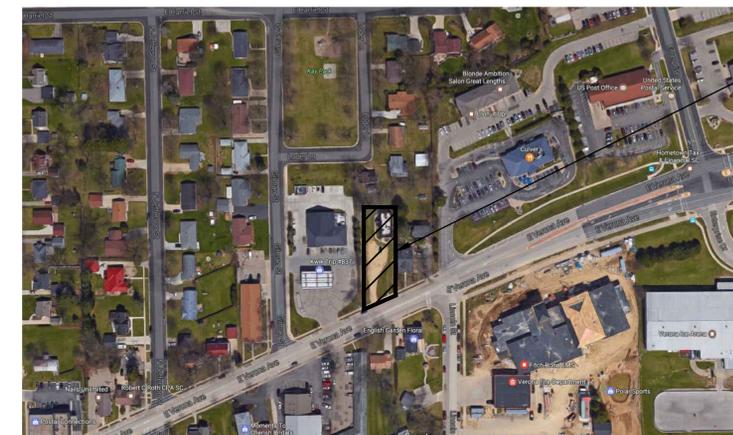
GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEPED AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING ("MEP") DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN WITH ARCHITECT.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.

SHEET INDEX:

- A0.1 COVER SHEET**
A0.2 SYMBOLS & ABBREVIATIONS
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C-2 PROPOSED SITE PLAN
C-3 GRADING PLAN & EROSION CONTROL PLAN
C-4 UTILITY PLAN
- LANDSCAPE**
L1.0 LANDSCAPE PLAN
- ELECTRICAL SITE LIGHTING**
ESL.1 SITE LIGHTING PLAN
- ARCHITECTURAL**
A1.1 EXISTING SITE AERIAL PHOTO
A1.2 PROPOSED ARCHITECTURAL SITE PLAN
A2.1 FIRST FLOOR PLAN
A2.2 SECOND FLOOR PLAN
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS

TENANT LOCATION:



PROJECT SITE

CONTACTS:

OWNER: DAVE LOMBARDO 525 COMMERCE PKWY VERONA, WI 53593	ARCHITECT: SHULFER ARCHITECTS, LLC 7780 ELMWOOD AVE., STE 208 MIDDLETON, WI 53562	STRUCTURAL ENGINEER: MP-SQUARED STRUCTURAL ENGINEERS, LLC 583 D'ONOFRIO DR, STE 201 MADISON, WI 53719	GENERAL CONTRACTOR: ENGINEERED CONSTRUCTION 525 COMMERCE PKWY VERONA, WI 53593	CIVIL ENGINEER: QUAM ENGINEERING 4604 SIGGELKOW RD, STE A MCFARLAND, WI 53558	LANDSCAPE ARCHITECT: BARNES LANDSCAPING 6433 NESBITT RD MADISON, WI 53719
DAVE LOMBARDO 608-845-7930	STEVE SHULFER (ARCHITECT) ROSS TREICHEL (CONTACT) 608-836-7570	MARK PUCCIO 608-821-4770	JIM LADIKA 608-845-7930	RYAN QUAM 608-838-7750	JEREMY HOLMSTADT 608-845-32301

NOT FOR CONSTRUCTION

MULTI-USE DEVELOPMENT

416 E. VERONA AVENUE
VERONA, WI 53593

COVERSHEET

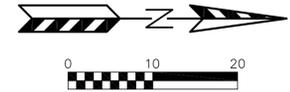
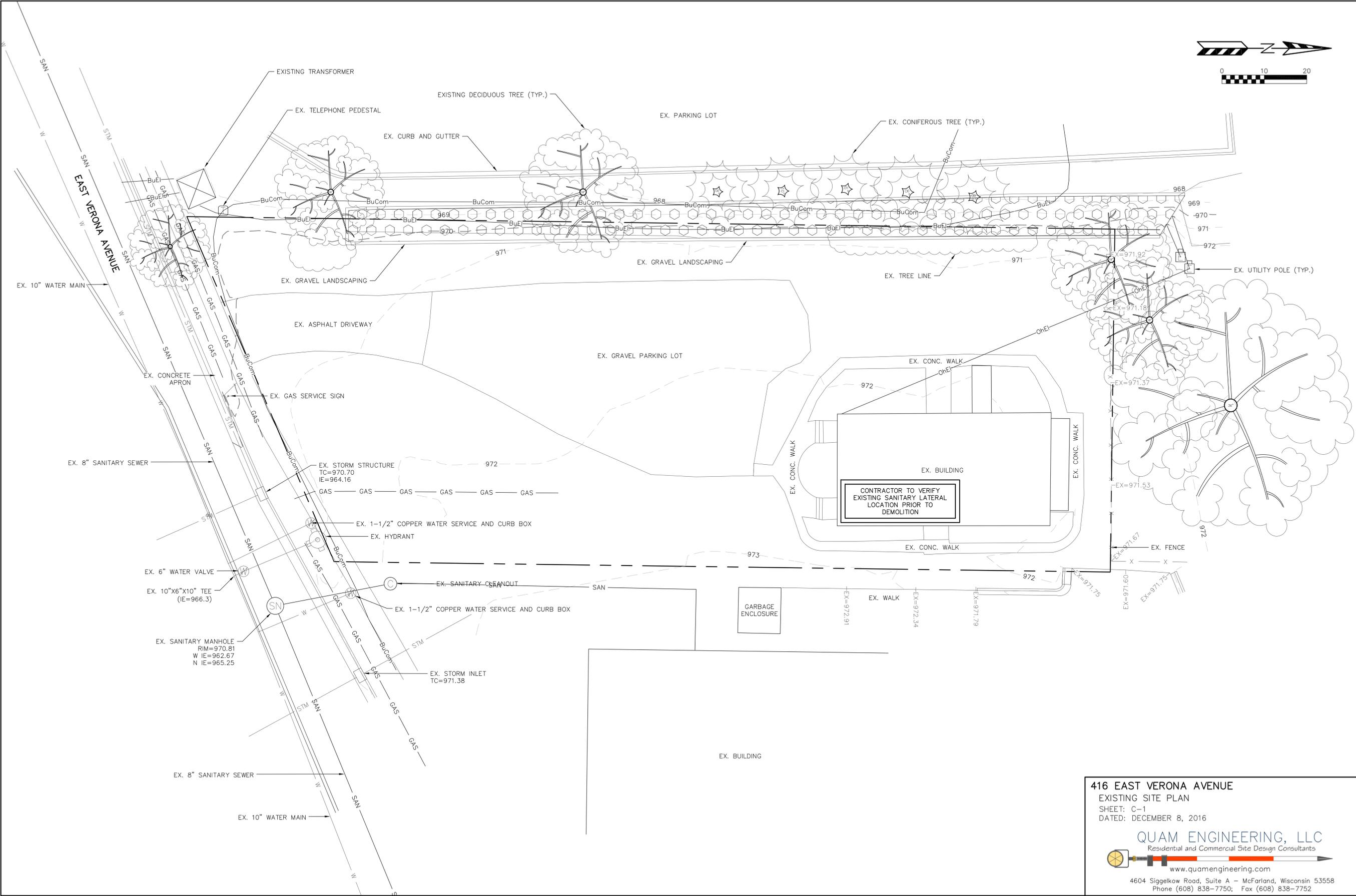
12/06/16
PC SUBMITTAL

A0.1



7780 ELMWOOD AVE., SUITE 208
MIDDLETON, WI 53562
TELEPHONE: 608.836.7570
FAX: 608.836.7568

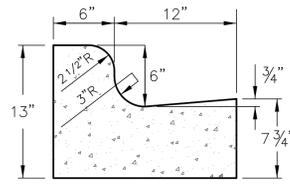
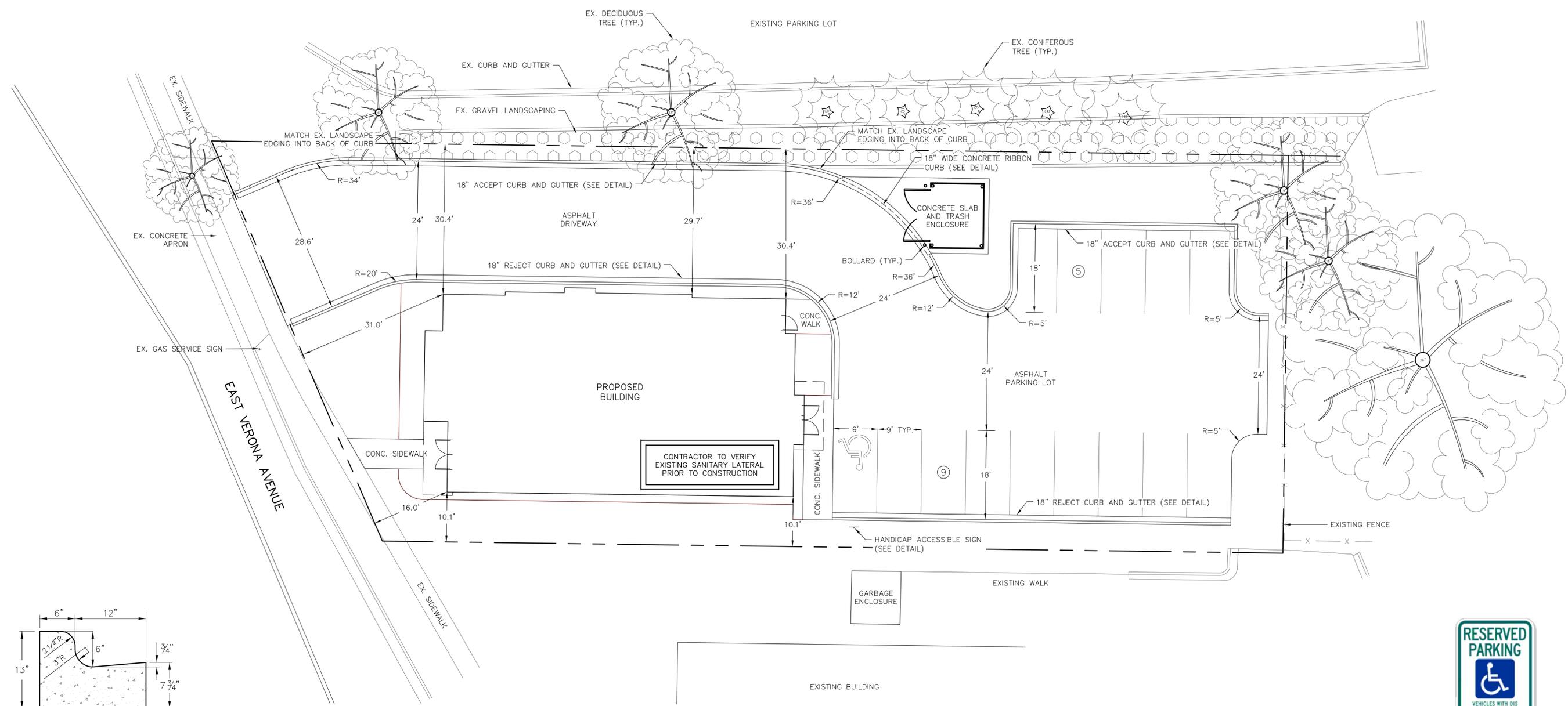
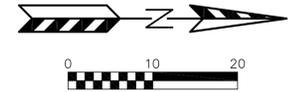
SHULFER
ARCHITECTS, LLC



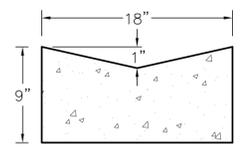
416 EAST VERONA AVENUE
 EXISTING SITE PLAN
 SHEET: C-1
 DATED: DECEMBER 8, 2016

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

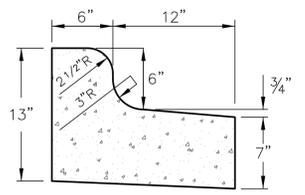
www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



18" STANDARD CONCRETE CURB & GUTTER



18" CONCRETE RIBBON CURB



18" REJECT CONCRETE CURB & GUTTER

CURB NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE OF ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED 4" CRUSHED STONE.

SITE INFORMATION BLOCK	
Site Address	416 EAST VERONA AVENUE
Site acreage (total)	0.37 ACRES
Current Zoning	NEIGHBORHOOD COMMERCIAL
Number of Parking stalls:	
Car	13
Accessible	1
Total	14
Surface Coverage:	
Impervious	0.268 Acres
Pervious	0.103 Acres
Total	0.371 Acres
Impervious Percentage:	72.2%

SITE PLAN NOTES:

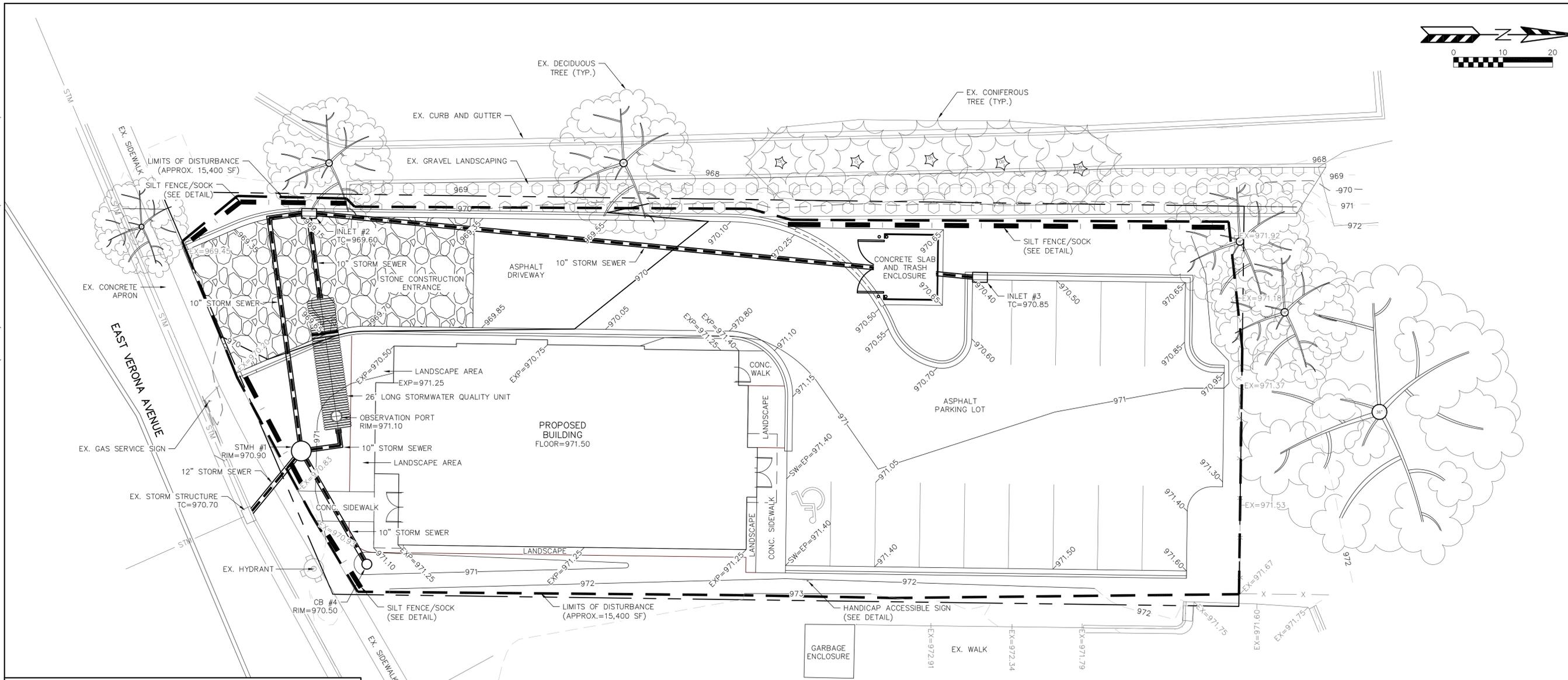
- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- WHERE CURB ENDS AT CONNECTIONS TO VERONA AVENUE, SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
- ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



HANDICAP ACCESSIBLE SIGN DETAIL

416 EAST VERONA AVENUE
 PROPOSED SITE PLAN
 SHEET: C-2
 DATED: DECEMBER 8, 2016

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EROSION NOTES:

THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:

APRIL 1, 2017 INSTALL INITIAL EROSION CONTROL DEVICES
 APRIL 2, 2017 - OCTOBER 31, 2017 DEMOLISH EXISTING BUILDING AND SITE, CONSTRUCT BUILDING & PARKING LOT AND RESTORE PERVIOUS DISTURBED AREAS.

RESTORATION NOTES:

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

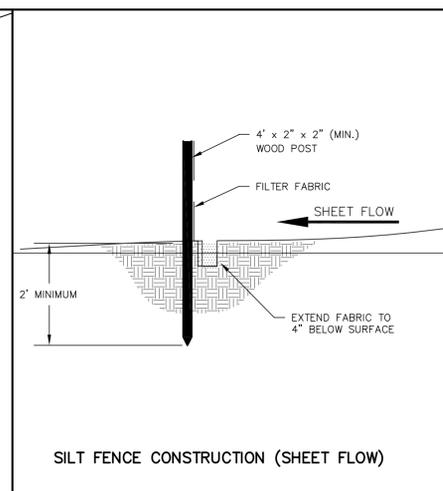
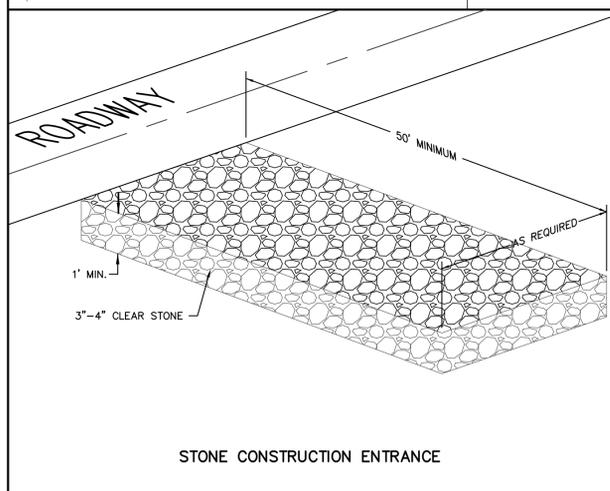
FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:

DAVE LOMBARDO
 525 COMMERCE PARKWAY
 VERONA, WI 53593

ENGINEER:

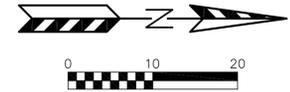
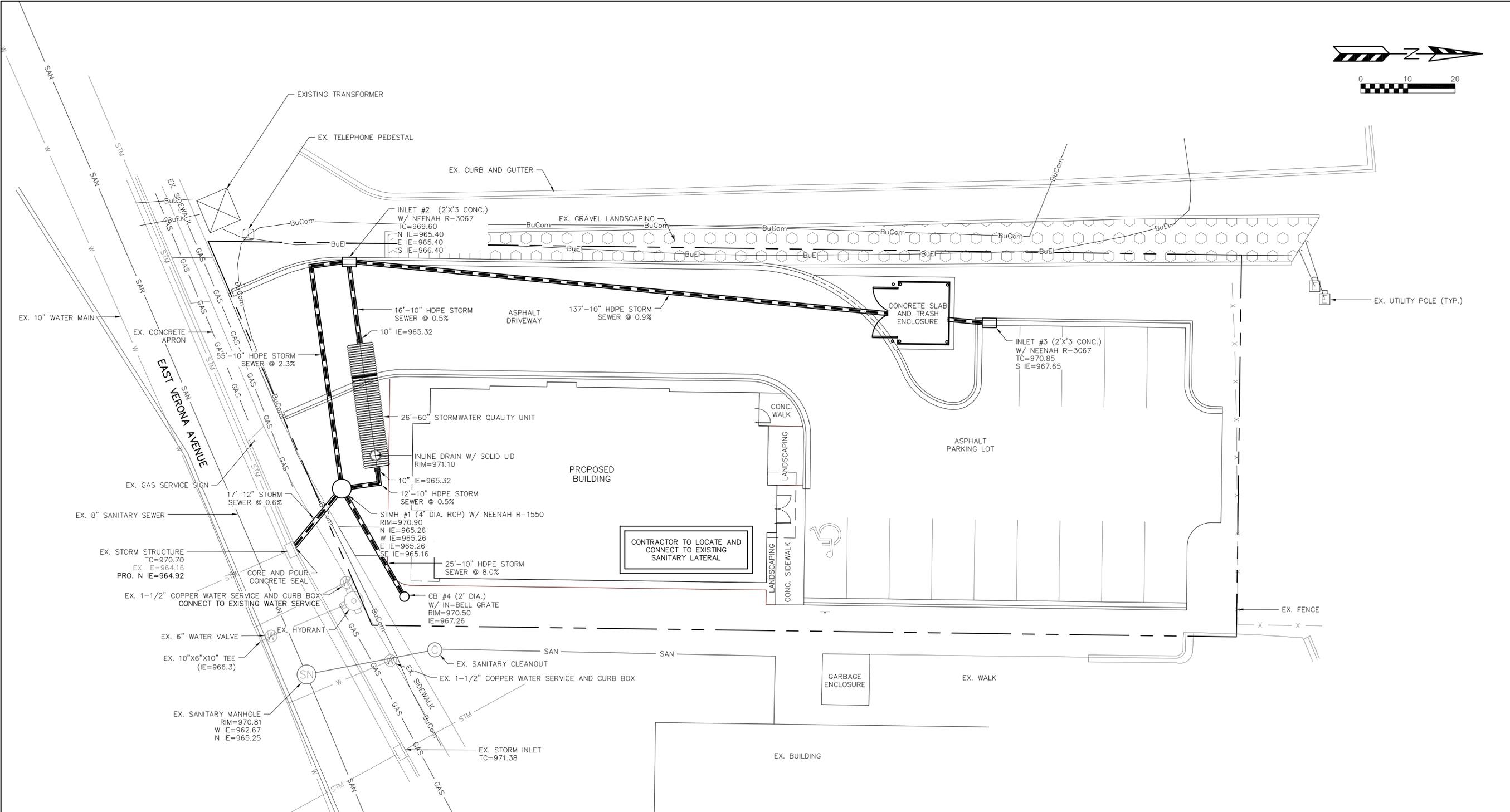
QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

416 EAST VERONA AVENUE
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-3
 DATED: DECEMBER 8, 2016

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



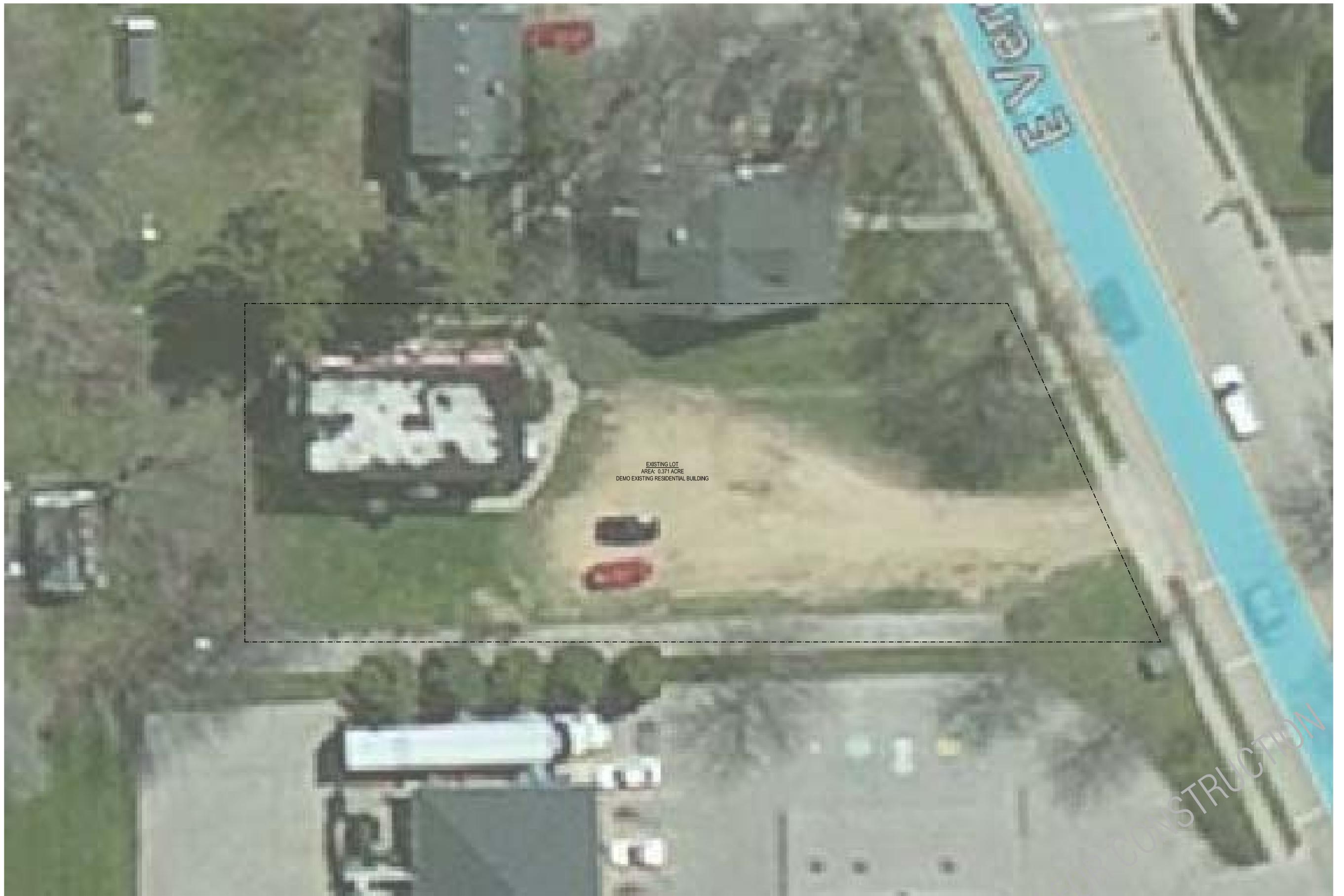
UTILITY NOTES:

- ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF VERONA AND WISCONSIN DSPS STANDARDS.
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
- MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 12" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
- ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
- THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
- ALL STORM SEWER SHALL BE ADS INC. N-12 WT IB PIPE.
- CONTRACTOR SHALL VERIFY MATERIAL, SIZE, AND INVERT OF SANITARY SEWER, WATER MAIN, AND STORM SEWER CONNECTIONS PRIOR TO BUILDING CONSTRUCTION.

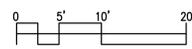
416 EAST VERONA AVENUE
 UTILITY PLAN
 SHEET: C-4
 DATED: DECEMBER 8, 2016

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



EXISTING LOT
AREA: 0.371 ACRE
DEMO EXISTING RESIDENTIAL BUILDING



1 EXISTING SITE
1" = 10'-0"



NOT FOR CONSTRUCTION

7700 SILVERWOOD AVE., SUITE # 2000
VERONA, WI 53593
TELEPHONE 608.864.9700
FAX 608.864.9700



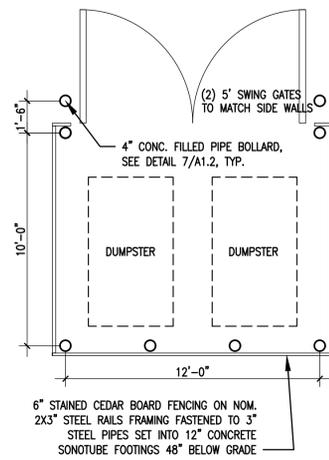
SHULFER
ARCHITECTS, LLC

MIXED-USE DEVELOPMENT

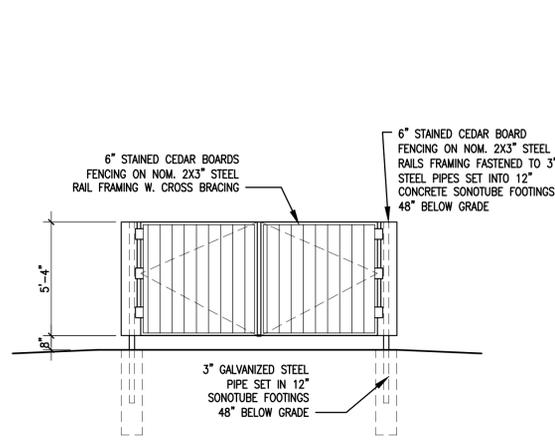
416 E. VERONA AVENUE
VERONA, WI 53593

EXISTING SITE

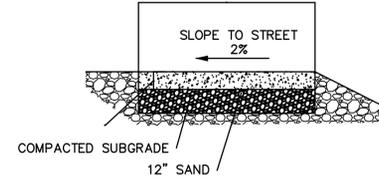
12/06/16
CONCEPT
12/06/16
PC SUBMITTAL



2 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

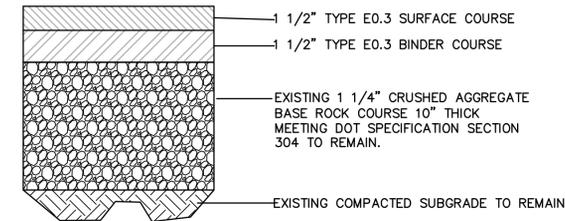


3 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



- NOTES:**
1. ALL CONCRETE SHALL COMPLY WITH ARTICLE 501 "CONCRETE" OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION.
 2. SIDEWALK PANELS TO BE SQUARE (5' LONG x 5' WIDE TYP.).
 3. EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, CURB RAMPS, AND/OR POINTS OF TANGENCY IN CURB AS SHOWN ON THE STANDARD DRAWINGS FOR SIDEWALK RAMPS, AND AT SPACING NOT TO EXCEED 45'.
 4. FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MINIMUM 1/2" RADIUS.
 5. SIDEWALKS SHALL HAVE A MINIMUM THICKNESS OF 7" IF MOUNTABLE CURB IS USED, OR IF SIDEWALK IS INTENDED AS PORTION OF DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 4".
 6. CONCRETE SHALL HAVE A BROOM FINISH, ALL JOINTS SHALL BE EDGED.
 7. IN THE EVENT THAT CONCRETE SIDEWALK, DRIVES OR CURB AND GUTTER ARE PLACED IN COLD WEATHER, "COLD WEATHER PROTECTION" SHALL BE APPLIED.

4 SIDEWALK DETAIL
N.T.S.



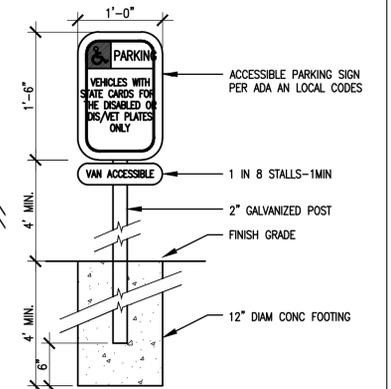
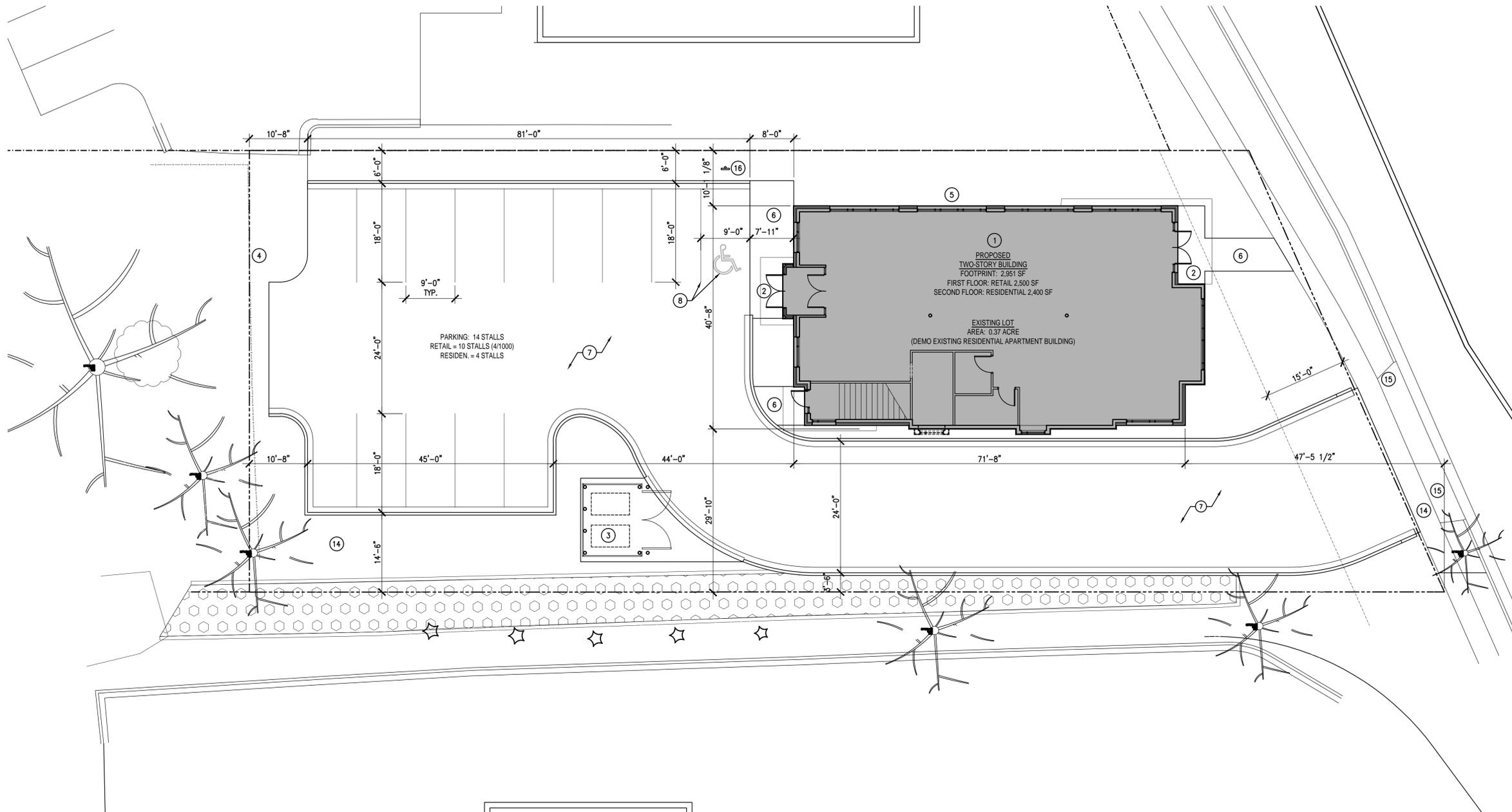
5 BITUMINOUS PAVEMENT SECTION - CAR TRAFFIC
N.T.S.

SITE PLAN GENERAL NOTES:

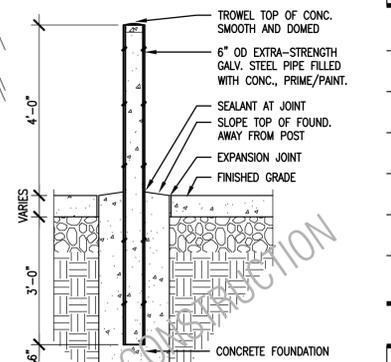
- CONTRACTOR TO ENGAGE SERVICES OF SURVEYOR TO VERIFY ALL PROPERTY LIMITS AND ENSURE COMPATIBILITY WITH PROPOSED ALTERATIONS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION WITH PROPOSED ALTERATIONS.
- EXISTING ADJACENT BUILDINGS TO BE PROTECTED FROM DAMAGE DURING ALL DEMOLITION AND CONSTRUCTION WORK.
- CITY SIDEWALKS, UTILITIES AND LANDSCAPE TO REMAIN INTACT AND UNDISTURBED WHERE POSSIBLE. IF MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITIONS AND CURRENT ACCESSIBILITY STANDARDS.
- VERIFY CURRENT UTILITY LOCATIONS, CONFIRM SERVICES WITH PROPOSED ALTERATIONS AND COORDINATE RELOCATION AS REQUIRED.
- NOTIFY DIGGERS HOTLINE PRIOR TO ANY DIGGING, ALL EXISTING UTILITIES OR STRUCTURES SHOWN IN THESE DOCUMENTS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.

KEYED SITE PLAN NOTES:

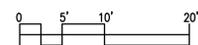
- PROPOSED BUILDING DEVELOPMENT, SEE PLANS ON SHEET A2.1 & A2.2
- CONCRETE WALK / ENTRY STOOP, FLUSH WITH FINISHED FLOOR, SLOPE AWAY FROM BLDG AT 2% (SEE GRADING PLAN)
- REFUSE ENCLOSURE WITH CONCRETE BOLLARDS, CONCRETE PAD AND SCREENING LANDSCAPE. SEE DETAIL.
- PROTECT EXISTING FENCE. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.
- PROPOSED LOCATION FOR GAS AND ELECTRIC SERVICE ENTRANCE AND METERS
- CONCRETE WALK
- MEDIUM-DUTY ASPHALT DRIVE AND PARKING LOT
- WHITE STRIPING FOR PARKING LOT PROVIDE ACCESSIBLE PARKING SIGNAGE
- REPAIR/REPLACE CITY SIDEWALK AS NEEDED PER CITY CODE
- REMOVE PORTION OF EXISTING STONE WALL ON PROPERTY WHERE IMPEDING NEW CONCRETE CURBS AND PAVING. PROTECT THAT WHICH IS ON ADJACENT PROPERTY.
- COORDINATE SLOPE AND FINISH OF NEW CONCRETE SLAB AND RAMP TO MEET ACCESSIBILITY STANDARDS, MAX SLOPE 1:12.
- CANOPY OVERHANG ABOVE, SEE PLAN AND ELEVATIONS
- BICYCLE PARKING AREA
- EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION W/ TEMPORARY FENCING
- NEW CONCRETE DRIVE CURB-FLAIR AND RIBBON CURB PER CIVIL ENGINEER AND CITY REQUIREMENT.
- ADA VAN ACCESSIBLE SIGN AT FRONT OF STALL, SEE DETAIL.



6 ACCESSIBLE PARKING SIGN
1" = 1'-0"



7 PIPE GUARD BOLLARD
1/2" = 1'-0"



1 PROPOSED SITE
1" = 10'-0"



MIXED-USE DEVELOPMENT

PROPOSED SITE

12/06/16
CONCEPT
12/06/16
PC SUBMITTAL

A1.2

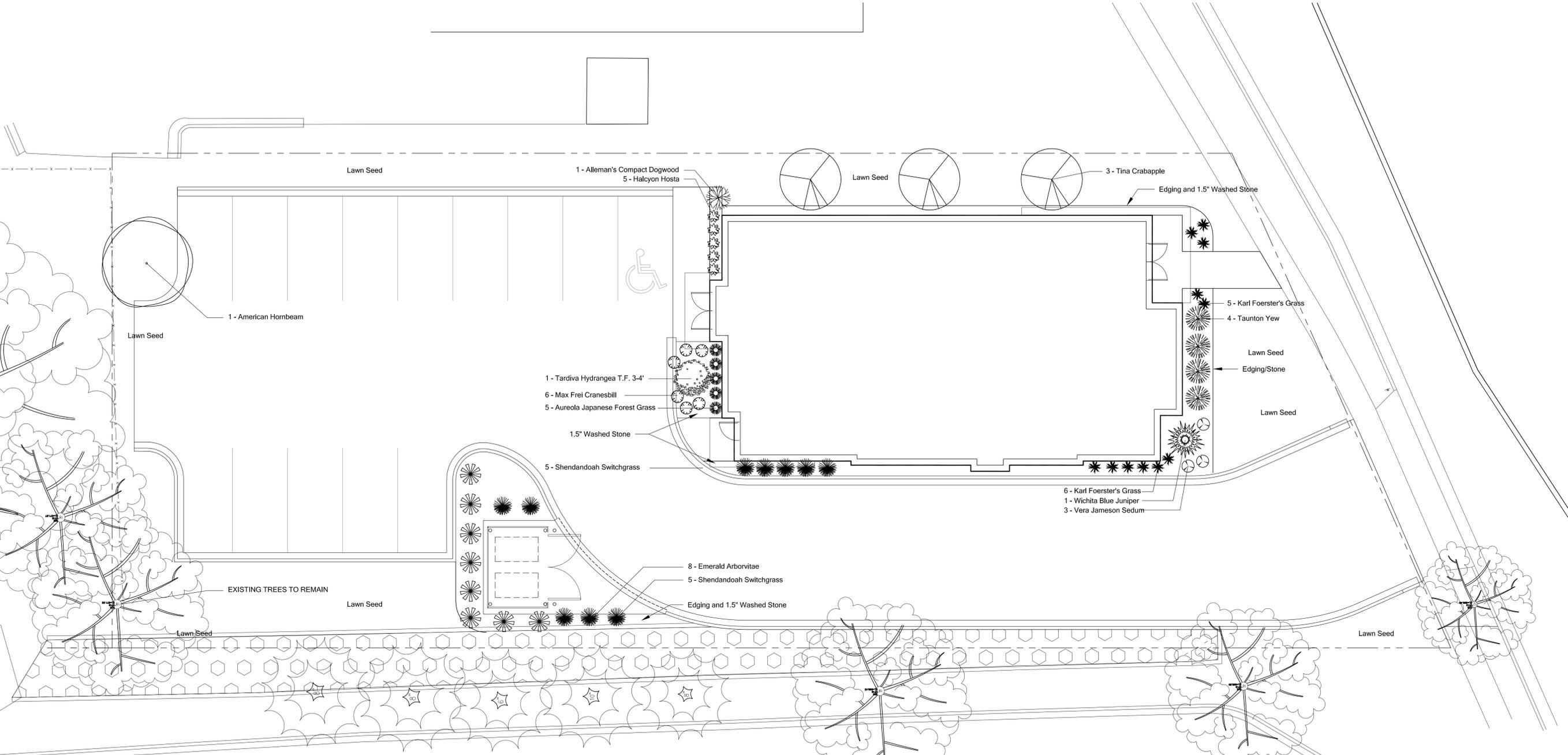
7700 MILWAUKEE AVE., SUITE 400E
MILWAUKEE, WI 53219
TEL: 414.382.1000
FAX: 414.382.1001

SHULFER
ARCHITECTS, LLC

416 E. VERONA AVENUE
VERONA, WI 53593

Mixed Use Development

416 E Verona Ave
Verona, WI 53593



NOTES:

- All planting beds around building shall be edged with Dimex Black Vinyl Edging.
- All planting beds shall be mulched with 1-1/2" Washed Stone Mulch to 3" depth over a fabric weed barrier.
- All trees in lawn areas are to be mulched with a 3' dia shredded bark mulch ring.
- Lawn areas to be fine graded and seeded with sunny premium seed blend, straw mulched and starter fertilizer applied.
- Supply temporary irrigation and maintenance to new landscape installation for the first 30 days after substantial completion of project.

PLANT MATERIAL LIST

Broadleaf Deciduous			
Quantity	Botanical Name	Common Name	Size
1	Acer saccharum	Sugar Maple	2-2.5" B&B
1	Carpinus caroliniana	American Hornbeam	2-2.5" B&B
1	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2-2.5" B&B
1	Malus sargentii 'Tina'	Tina Crabapple	2-2.5" B&B
Evergreens			
Quantity	Botanical Name	Common Name	Size
1	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	5-6' B&B
4	Taxus x media 'Taunton'	Taunton Yew	18-24"
8	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	5-6' B&B
Shrubs			
Quantity	Botanical Name	Common Name	Size
1	Cornus sericea 'Alleman's'	Alleman's Compact Dogwood	2-3' Pot
1	Hydrangea paniculata 'Tardiva' TF	Tardiva Hydrangea tree form	3-4' Pot
Perennials			
Quantity	Botanical Name	Common Name	Size
10	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	#1 Cont.
6	Geranium sanguineum 'Max Frei'	Max Frei Cranesbill	#1 Cont.
5	Hakonechloa macra 'Aureola'	Aureola Japanese Forest Grass	#1 Cont.
5	Hosta x tardiana 'Halcyon'	Halcyon Hosta	#1 Cont.
6	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	#1 Cont.
3	Sedum x 'Vera Jameson'	Vera Jameson Sedum	#1 Cont.

LANDSCAPE POINTS - Verona

Points Required (Central Commercial Zoning District):		
Item	Quantity	Points Required
- Building Foundation Perimeter:	249 l.f.	0
- Developed Lot Area:	3,135 s.f.	0
- Street Frontage:	91 l.f.	0
- Paved Areas:	8,175 s.f.	20
TOTAL Points Required:		20

LANDSCAPE POINTS supplied on plan:

Plant Category	Points Each	Quantity	Points
Medium Deciduous Tree (6')	15	1	15
Low Deciduous Tree (4')	10	3	30
Low Evergreen Tree	12	9	108
Medium Deciduous Shrub	3	2	6
Medium Evergreen Shrub	5	4	20
TOTAL POINTS SUPPLIED:			179

Notes:

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Approved for Construction by owner
Signed: _____ Date: _____
Accepted by Barnes Inc.
Signed: _____ Date: _____

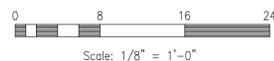
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Revised on: 4.
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Sheet: _____ Scale: 1/8" = 1'-0"

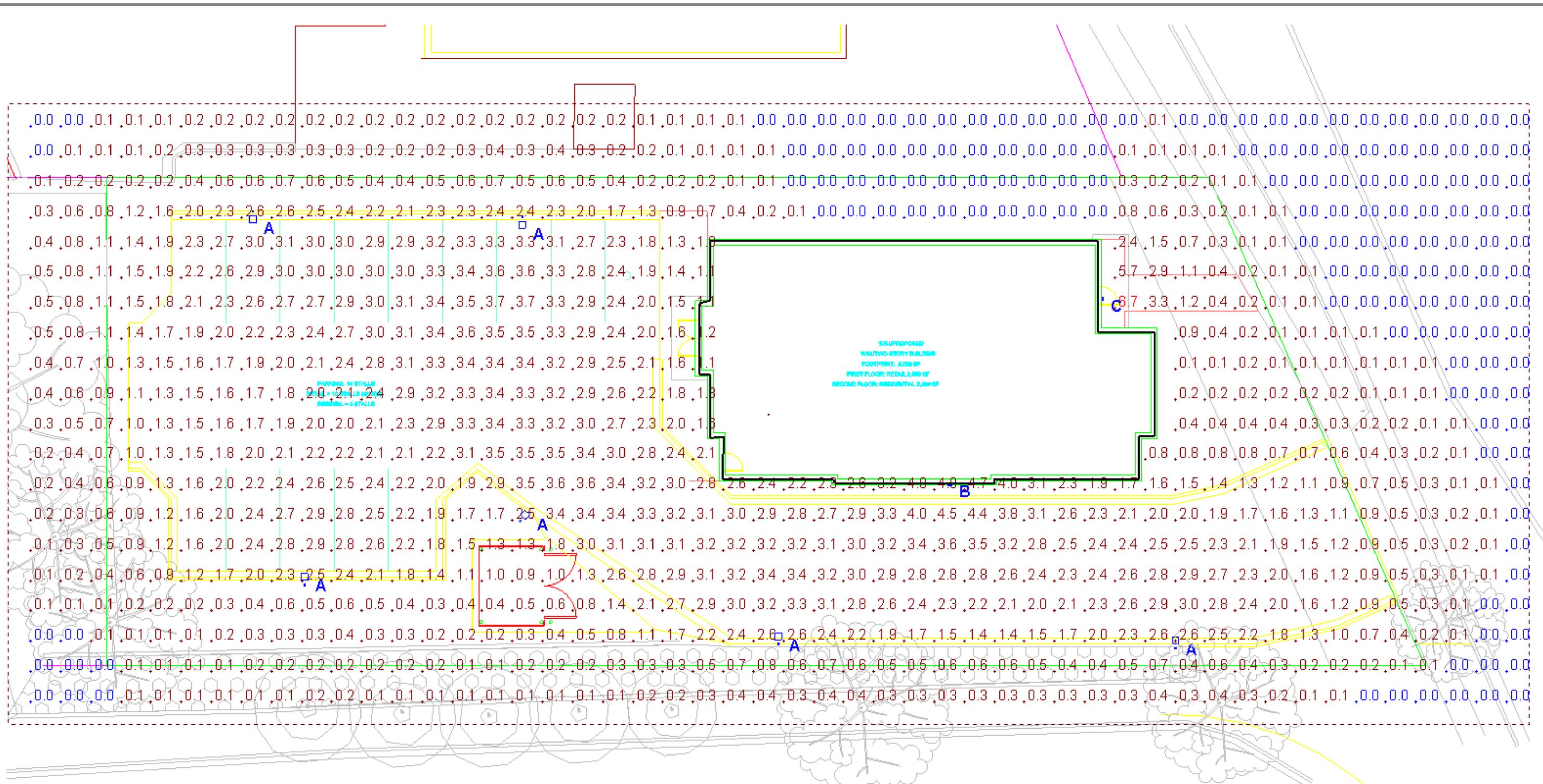
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James E. Collar
12-7-16



Scale: 1/8" = 1'-0"



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	6	Lithonia Lighting	KAX1 LED P1 40K RS MVOLT HS	KAX AREA SERIES SIZE 1, PERFORMANCE PACKAGE 1, 4000 K, TYPE 5, 120-277V, HOUSE-SIDE SHIELD	LED	1	KAX1_LED_P1_40K_RS_M VOLT_HS.ies	4400	1	50
	B	1	Lithonia Lighting	OLWX1 LED 40W 40K DDB	40W 4000K LED WALL PACK	LED	1	OLWX1_LED_40W_40K_D DB.ies	4000	1	38.82
	C	1	Lithonia Lighting	OLWX1 LED 20W 50K DDB	20W 5000K LED WALL PACK	LED	1	OLWX1_LED_20W_50K_D DB.ies	1880	1	21.97

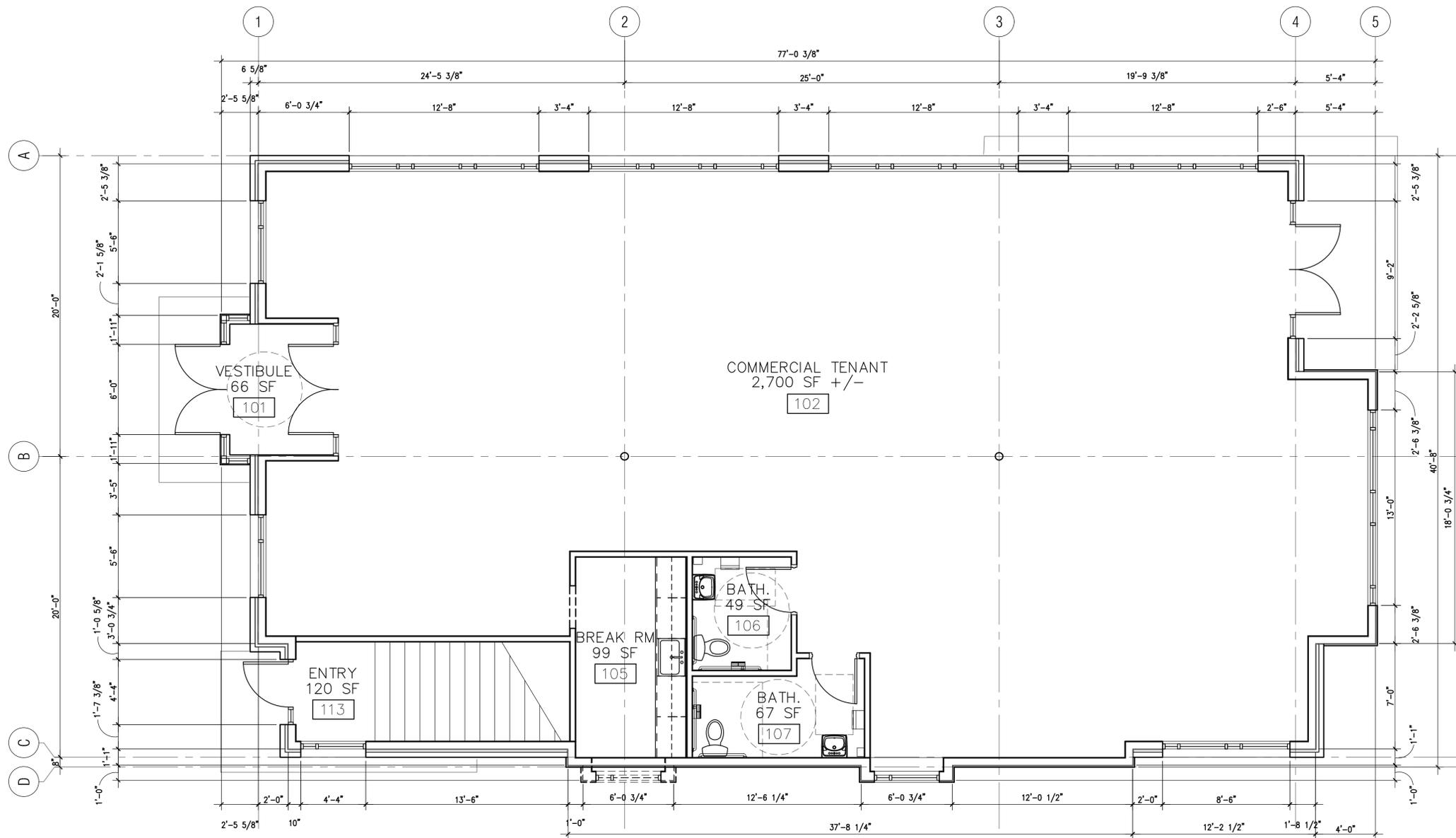
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	6.7 fc	0.0 fc	N/A	N/A

FLOOR PLAN GENERAL NOTES

1. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS
2. DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
3. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNER'S REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT-DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
4. GENERAL CONTRACTOR TO MAINTAIN PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.
5. REFER TO FINISH SCHEDULE FOR INTERIOR FINISHES

HATCH PATTERNS KEY:

	NEW CONSTRUCTION
	NEW MASONRY WALL
	EXISTING CONSTRUCTION
	EXISTING MASONRY WALL



1 FIRST FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION

MIXED-USE DEVELOPMENT

FIRST FLOOR PLAN

12/06/16
CONCEPT
12/06/16
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A2.1



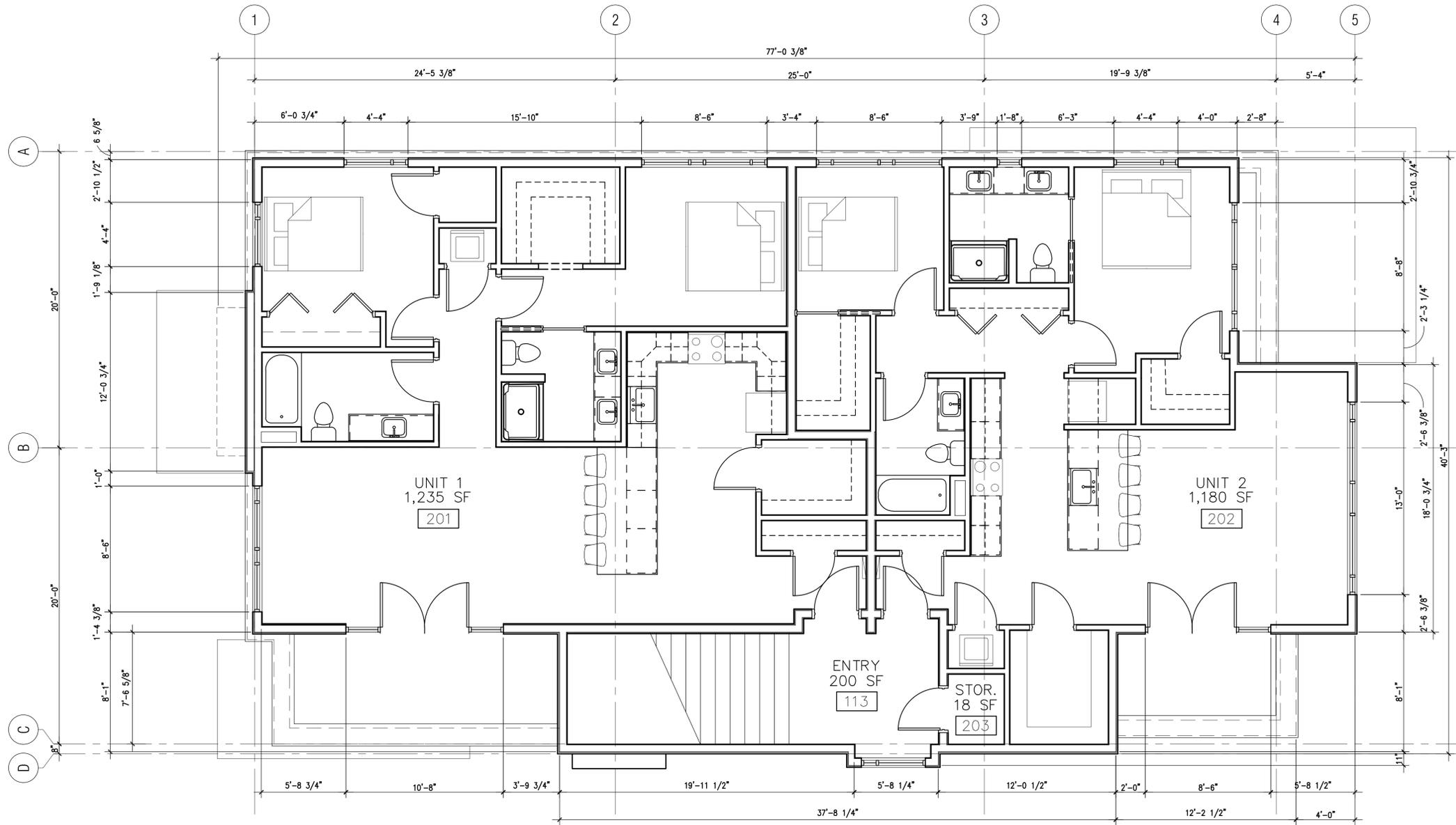
416 E. VERONA AVENUE
VERONA, WI 53593

FLOOR PLAN GENERAL NOTES

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4. GENERAL CONTRACTOR TO MAINTAIN PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.
5. REFER TO FINISH SCHEDULE FOR INTERIOR FINISHES

HATCH PATTERNS KEY:

	NEW CONSTRUCTION
	NEW MASONRY WALL
	EXISTING CONSTRUCTION
	EXISTING MASONRY WALL



1 SECOND FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION

MIXED-USE DEVELOPMENT

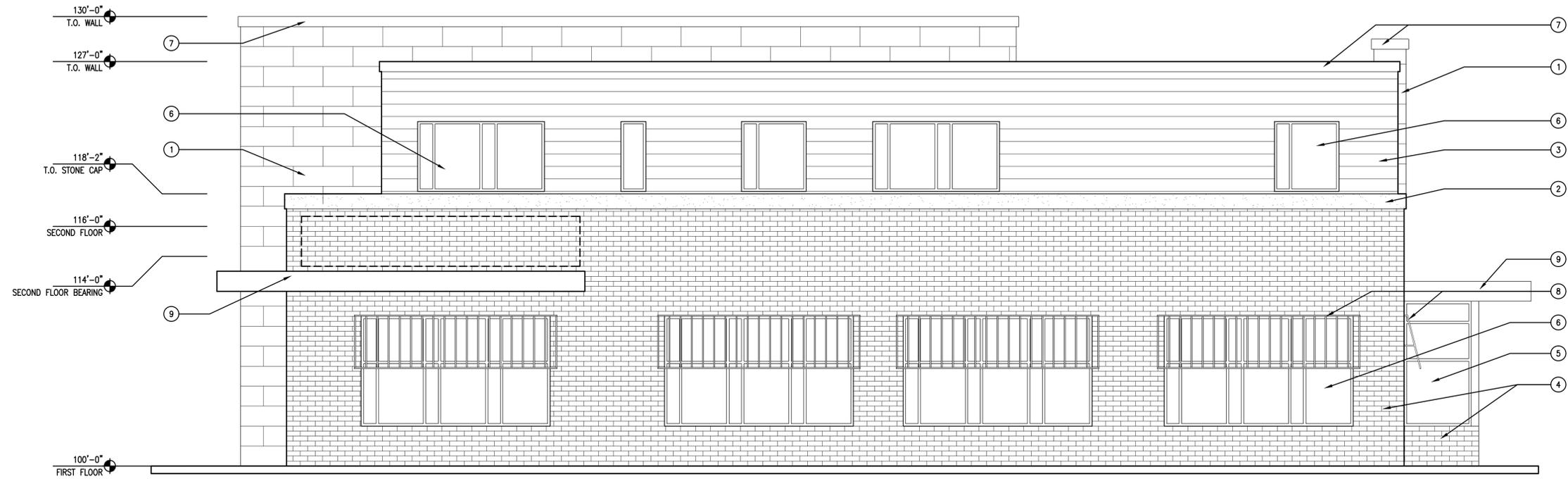
SECOND FLOOR PLAN

12/06/16
CONCEPT
12/06/16
PC SUBMITTAL

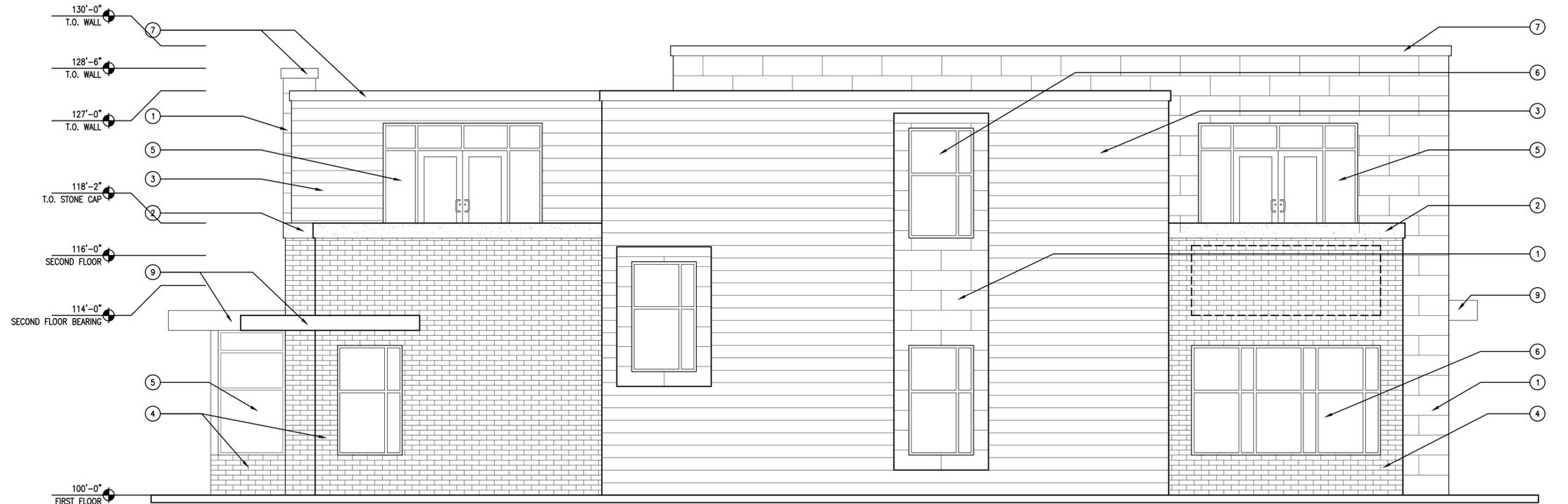
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416 E. VERONA AVENUE
VERONA, WI 53593



2 EAST BUILDING ELEVATION
1/4" = 1'-0"



1 WEST BUILDING ELEVATION
1/4" = 1'-0"

- MATERIAL KEYED NOTES:**
*REFER TO COLOR ELEVATIONS ILLUSTRATION
- ① FLAT-SEAM METAL PANEL, COLOR AND MFR: TBD
 - ② CAST STONE ACCENT - SMOOTH FACE, COLOR AND MANUFACTURER: TBD
 - ③ LP, "SMARTSIDE" SIDING, 6" LAP, STYLE AND COLOR: TBD
 - ④ BRICK MASONRY; STYLE AND COLOR: TBD
 - ⑤ THERMALLY IMPROVED CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH 1" LOW-E GLAZING
 - ⑥ THERMALLY IMPROVED CLEAR ANODIZED ALUMINUM WINDOWS WITH 1" LOW-E GLAZING
 - ⑦ PREFINISHED METAL 8" COPING; COLOR: BLACK ANODIZED
 - ⑧ METAL AWNING, 1" SQUARE TUBE, CLEAR ANODIZED
 - ⑨ FIELD FRAMED AWNING WITH METAL PANEL, COLOR AND MANUFACTURER: TBD
 - ⑩ PROPOSED SIGNAGE LOCATION SHOWN (EXACT TENANT SIGNAGE TO BE SUBMITTED AT LATER DATE)



7710 SILVERWOOD AVE., SUITE 400B
MILWAUKEE, WI 53219
TEL: 414.224.4444
FAX: 414.224.4444

SHULFER
ARCHITECTS, LLC

MIXED USE DEVELOPMENT

416 E. VERONA AVENUE
VERONA, WI

BUILDING ELEVATIONS

12/06/16
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12/06/16
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NOT FOR CONSTRUCTION

A3.1



2 NORTH BUILDING ELEVATION
 1/4" = 1'-0"



1 SOUTH BUILDING ELEVATION
 1/4" = 1'-0"

- MATERIAL KEYED NOTES:**
 *REFER TO COLOR ELEVATIONS ILLUSTRATION
- ① FLAT-SEAM METAL PANEL, COLOR AND MFR: TBD
 - ② CAST STONE ACCENT - SMOOTH FACE, COLOR AND MANUFACTURER: TBD
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 - ⑧ METAL AWNING, 1" SQUARE TUBE, CLEAR ANODIZED
 - ⑨ FIELD FRAMED AWNING WITH METAL PANEL, COLOR AND MANUFACTURER: TBD
 - ⑩ PROPOSED SIGNAGE LOCATION SHOWN (EXACT TENANT SIGNAGE TO BE SUBMITTED AT LATER DATE)

MIXED USE DEVELOPMENT

BUILDING ELEVATIONS

12/06/16
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A3.2

NOT FOR CONSTRUCTION



416 E. VERONA AVENUE
 VERONA, WI



VERONA MIXED USE DEVELOPMENT

VIEW #1



VERONA MIXED USE DEVELOPMENT

VIEW #2



VERONA MIXED USE DEVELOPMENT

VIEW #3