

Oakmont Senior Living

Site Plan & Conditional Use Submittal

841 N. Main Street
Verona, WI 53593

Prepared for:



161 Horizon Drive, Suite 101A
Verona, WI 53593

Prepared by:

JSD *Professional Services, Inc.*
• Engineers • Surveyors • Planners

161 Horizon Drive, Suite 101
Verona, WI 53593

February 22, 2019

Introduction

On behalf of Forward Development Group (FDG), the applicant is requesting Conditional Use and Site Plan approval of a 100-unit congregate care, senior retirement facility (*institutional residential*) to be located at 841 North Main Street in the City of Verona. In 2017, the parcel was rezoned from Mixed Residential (MR) to Neighborhood Office (NO) upon Forward Development Group's purchase of the land at 841/857 N. Main Street.

Project Background

The project site, located east of Badger Ridge Middle School and south of First Choice Dental along N. Main Street is currently an old farmstead consisting of various structures including a house, garage, barn and storage shed. Topography of the existing site makes improvements a challenge as roughly 20' of grade change occurs from the existing First Choice Dental building to the southern border of the parcel. The west boundary of the subject parcel has five (5) large deciduous trees, one of which is a large, mature white oak. The remaining four (4) trees include Black Walnut species. In an effort to preserve the trees, the existing ROW sidewalk has been routed east of the trees and into the subject property. It's the Owner/Developer's intentions to preserve the two southern most trees, which includes the large, mature, 100+ year old white oak. The east side of the subject parcel is adjacent to a City owned out lot approximately 54' wide. An existing 8" sanitary and 8" water main service runs north and south within the out lot and will be utilized to service the Senior Facility.

Site Plan and Land Use

The site will be accessed by two curb curbs in N. Main Street. Improvements include the removal and replacement of First Choice Dental's existing driveway, along with median improvements within N. Main Street. The proposed full access entrance will be shared by Oakmont Senior Living and First Choice Dental users. As a result, a portion of First Choice Dental's parking lot will be improved to provide an additional 6 parking stalls for their patients and staff. A second curb cut with right-in/right-out access only will be constructed to the south on N. Main Street. A majority of the existing sidewalk near the ROW of N. Main Street will be removed and replaced. Three (3) of the five (5) deciduous trees will be removed due to their poor health and undesired species (Black Walnut). The parking improvements provide a total 40 surface parking stalls. The 12 stalls proposed north of the building will be shared with First Choice Dental, with their staff utilizing the stalls during weekday office hours and Oakmont visitors using them during evenings and weekends. An underground access drive is proposed at the southwest corner of the building where an additional 68 underground parking stalls are provided for residents.

Site Information

Refer to the following table for detailed development data, including Land Use & Building Summary information.

Land Use & Building Summary Table	
	Total
Site Area	3.446 acres (including R-O-W area) 3.121 acres (excluding R-O-W area)
Total Units	100
Number of Building Stories	2 2 w/ south basement level exposure
Average Building Height	33'-3"
Number of Surface Parking Stalls	40
Number of Underground Parking Stalls	68
Total Parking Stalls	108
Lot Coverage (building and pavement)	73,029 SF (excluding R-O-W area)
Open Space	62,921 SF (excluding R-O-W area)
Lower Level Area	37,569 SF
First Floor Area	44,733 SF
Second Floor Area	43,247 SF
FAR	.92 (excluding R-O-W area)
Short Term Bike Parking	6 stalls (3 racks)

Architectural Design

The building will have a total of 100 units, 63 of which will be marketed to those persons of advanced age requiring assisted living services. It is anticipated that a maximum of 12 staff members will be on-site to operate the facility during peak hours (i.e. meal times) Visitor traffic at similar facilities is typically a maximum of 8 to 10 guests at a time. A detailed unit schedule is provided.

The exterior finish of the building will primarily be constructed of masonry and fiber cement siding, with accents of decorative fiber cement shakes at the gables of the roof. The roof will be finished with dark asphalt shingles with texture and color variation to provide depth to the 6:12 pitched roof. The gabled roof accents and color scheme keep within the design of the surrounding neighborhood and provide a warm, residential aesthetic while the “farm house” architectural style reflects the existing farmstead. Walk out patios and decks are incorporated into the architectural design. Decorative railings and white window and door trim will complement the overall design.

Unit Schedule		
Name	Count	Gross Area
UNIT 1.1A	19	492 SF
UNIT 1.1B	44	653 SF
UNIT 1.1B-D	15	805 SF
UNIT 1.1E-C	4	694 SF
UNIT 2.1A	2	1,045 SF
UNIT 2.1B-C	8	964 SF
UNIT 2.2A-C	4	1,075 SF
UNIT 2.2B-C	2	1,195 SF
UNIT 2.2C-CD	2	1,204 SF
	100	

The building’s design and the operational programming will offer a variety of programs for residents to utilize including areas for arts and crafts, movies, wellness and fitness services, as well as a selection of meal plans. Additional space will be reserved for private dining areas, hair care and a library. Guests will be welcomed as they enter through the vestibule of the

building to a view of the open dining room that leads out to an expansive deck overlooking open space on the east side of the building. There is also sitting areas programmed into the front entry area..

Landscaping

Landscaping will be provided on all four sides of the building to meet the Neighborhood Office zoning landscape standards. A variety of smaller scale deciduous and evergreen species will be installed near the building foundation to provide full season interest for residents. A substantial amount of landscape screening will be installed at the south and east property line to screen the development from neighboring residents. The screening buffer will be comprised of a variety of deciduous and evergreen trees. The landscaping buffer on the east side of the development will utilize a portion of the City out lot in an effort to maximize usable open space on the subject lot.

Stormwater Management and Utilities

The stormwater management plan is designed to meet the City of Verona, Dane County and Wisconsin Department of Natural Resources (WDNR) stormwater management standards. Proposed stormwater facilities include the construction of three bio-retention facilities (southwest, west and northwest) and one large infiltration basin (east).

The building's sanitary sewer service will be tied in via an 8" PVC sanitary lateral at the southeast corner of the site. The building's 6" water service will connect at the northwest corner of the building via a reducer and tee from a hydrant assembly. The hydrant assembly is necessary for fire suppression purposes in the event of a fire.

Site Lighting

Recognizing that site lighting contributes to placemaking as well as providing additional security, site lighting is provided in several different forms, including pole mounted fixtures in parking areas and wall mounted fixtures to serve both as security lighting at building entries and as architectural accents. Overall, site lighting is dark skies compliant, consistent with the City of Verona zoning codes.

Signage

The design team anticipates the following signage will be incorporated:

- One (1) free standing monument sign at north entrance to N. Main Street;
- One (1) free standing monument sign at south entrance to N. Main Street

Signage elements will be designed in accordance with City of Verona zoning code and provided to City staff for administrative review prior to construction.

Schedule of Completion

Construction is anticipated to begin summer of 2019, with substantial completion taking place summer of 2020.

Bulk Zoning Standard Exemptions

Residential Bulk Parking Standard Exemption

- Minimum parking standards for Institutional Residential land use requires:
 - 1.5 parking stalls per Efficiency
 - 2 parking stalls per 1 Bedroom
 - 2.5 parking stalls per 2 Bedroom
 - 3 parking stalls per 3 Bedroom

The Oakmont Senior Living project is being designed and developed as congregate care, senior retirement living, with assisted living services being provided. As such, the average resident age will be notably higher and similar to comparable properties, and thus vehicle ownership and use will be low. Subsequently, a parking stall per unit ratio less than 1:1 is reasonable based on the older age group being served. The developer surveyed a total of 39 properties having independent, assisted and memory care services. The analysis was conducted with Horizon Management Services, the operational partner for the project. Horizon manages over 2,300 units of senior living so has extensive senior living operating experience. Their 34 years of developing and operating senior living facilities has confirmed that senior

housing, as compared with non-age-restricted multifamily housing or 55+ active lifestyle housing, utilize notably less parking because there is lower per-unit occupancy and fewer residents who drive. For example, the average age of the properties surveyed is 79.7. The analysis identified the comparable properties to those 13 that have similar operating characteristics to Oakmont, including Noel Manor, which has 55 independent units and Willow Point, two facilities located in Verona. The average parking stalls per unit for the comparable properties is 0.69 with only 0.45 stalls per unit being typically occupied (Noel Manor - 1.04 existing, 0.91 occupied; Willow Point – 0.54 existing, 0.28 occupied). The Oakmont Senior Living project has 1.08 parking stalls per unit being proposed. As such, the proposed total parking is considerably greater than the properties surveyed, including those facilities currently existing in Verona.

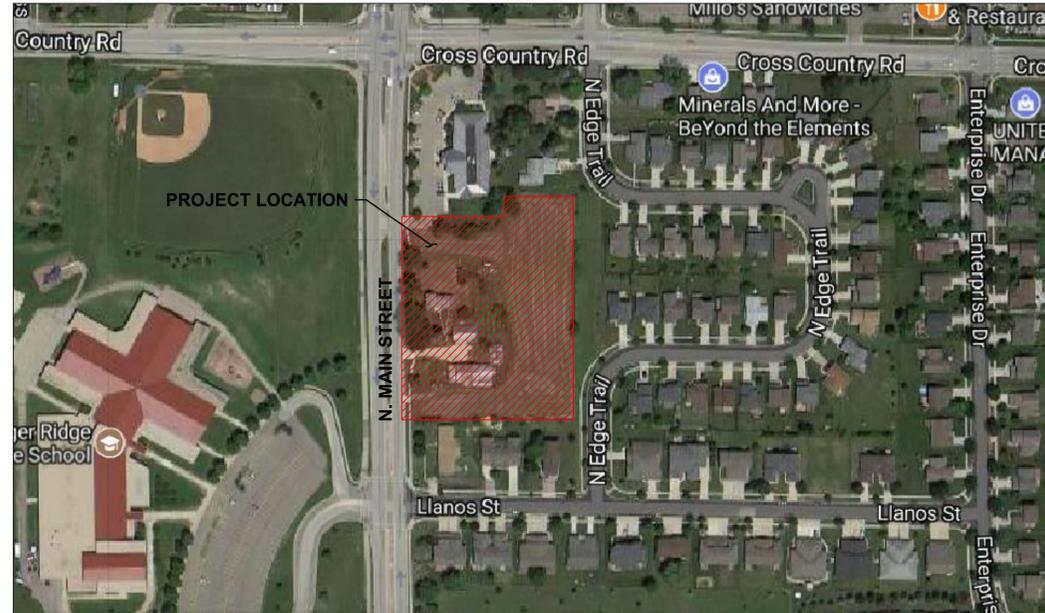
OAKMONT SENIOR LIVING

CITY OF VERONA, WISCONSIN

NW 1/4, NE 1/4, SECTION 15, TOWNSHIP 6 (NORTH), RANGE 8 (EAST)

DRAWING INDEX

C0.0	TITLE SHEET
C1.0	SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING & EROSION CONTROL PLAN
C4.1	DETAILED GRADING PLAN
C4.2	DETAILED GRADING PLAN
C5.0	UTILITY PLAN
C6.0	DETAILS
C6.1	DETAILS
C6.2	DETAILS
C6.3	DETAILS
L1.0	LANDSCAPE PLAN - OVERALL
L1.1	LANDSCAPE PLAN - NORTH
L1.2	LANDSCAPE PLAN - SOUTH
L2.0	LANDSCAPE DETAILS, NOTES & SPECIFICATIONS



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
FORWARD DEVELOPMENT GROUP
ATTN: RON HENSHUE
161 HORIZON DRIVE, STE 101A
VERONA, WI 53593
P: 608.848.9050
C: 608.220.5599
rjh @ forwarddevgroup.com

ARCHITECT / INTERIOR DESIGN
PLUNKETT RAYSICH ARCHITECTS
ATTN: KEITH BISKOBING
2310 CROSSROADS DRIVE #2000
MADISON, WI 53718
P: 414.410.2933
C: 262.229.7002
kbiskobing @ prarch.com

CIVIL CONSULTANT
JSD PROFESSIONAL SERVICES, INC.
ATTN: BILL DUNLOP
161 HORIZON DRIVE, STE 101
VERONA, WI 53593
P: 608.848.5060
bill.dunlop @ jsdinc.com

LANDSCAPE CONSULTANT
JSD PROFESSIONAL SERVICES, INC.
ATTN: KEVIN YESKA
161 HORIZON DRIVE, STE 101
VERONA, WI 53593
P: 608.848.5060
kevin.yeska @ jsdinc.com

MUNICIPAL CONTACTS

**CITY OF VERONA
DEPARTMENT OF PUBLIC
WORKS/ENGINEER**
ATTN: THERAN JACOBSON, P.E.
410 INVESTMENT COURT
VERONA, WI 53593
P: 608.845.6695
D: 608.848.6801
theran.jacobson @ ci.verona.wi.us

**CITY OF VERONA
DEPARTMENT OF PLANNING
& DEVELOPMENT**
ATTN: ADAM SAYRE
111 LINCOLN ST
VERONA, WI 53593
P: 608.848.9941
adam.sayre @ ci.verona.wi.us

**CITY OF VERONA
STREET DEPARTMENT**
ATTN: JON BUBLITZ
410 INVESTMENT COURT
VERONA, WI 53593
P: 608.845.6804
jon.bublitz @ ci.verona.wi.us

**CITY ENGINEERING
REVIEW CONSULTANT**
ATTN: JEFF MONTPAS
1350 DEMING WAY, SUITE 100
MIDDLETON, WI 53562
P: 608.828.8121
C: 608.963.1072
jeffrey.montpas @ aecom.com

UTILITY CONTACTS

GAS
MADISON GAS AND ELECTRIC
ATTN: STEVE BEVORDORF
133 BLAIR STREET
MADISON, WI 53703
P: 608.252.1552
C: 608.444.9620
sbeversdorf@mge.com

CABLE TV
CHARTER COMMUNICATIONS
ATTN: DAVE MOLDENHAUVER
1348 PLAINFIELD AVENUE
P: 608.206.0494
david.moldenhaver@charter.com

COMMUNICATIONS
TDS TELECOM
ATTN: JERRY MYERS
8401 GREENWAY BOULEVARD
MIDDLETON, WI 53562
P: 608.664.4404
jerry.myers@tdstelecom.com

ELECTRIC
ALLIANT ENERGY
ATTN: MICHAEL BROLIN
4902 NORTH BILTMORE LANE
MADISON, WI 53713
P: 608.458.4871
michaelbrolin@alliantenergy.com



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

**FORWARD
DEVELOPMENT
GROUP**

CLIENT ADDRESS:

**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:

**OAKMONT
SENIOR LIVING**

PROJECT LOCATION:

**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

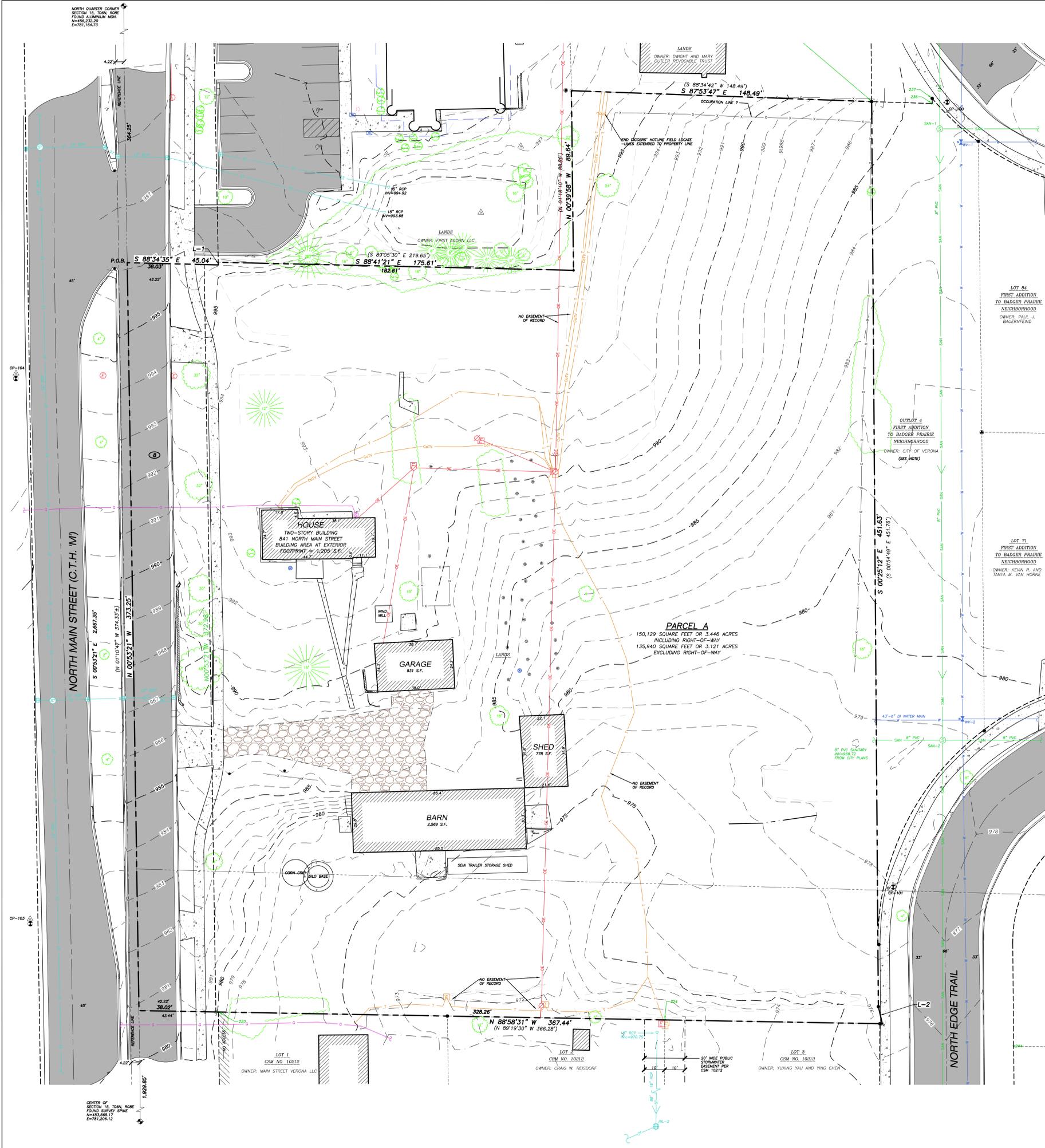
Design/Drawn: KJY
Approved: PMP

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:

C0.0

JSD PROJECT NO: 16-7603



EXISTING CONDITIONS SURVEY

PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 15, TOWN 06 NORTH, RANGE 08 EAST, TOWN OF VERONA, NOW CITY OF VERONA, DANE COUNTY, WISCONSIN

LEGEND

● GOVERNMENT CORNER	○ WELL	○ BUSH	— OVERHEAD ELECTRIC DISTRIBUTION
● 1-1/4" REBAR FOUND	○ ENDWALL/END OF PIPE	○ HANDICAP PARKING	— UNDERGROUND ELECTRIC
● 3/4" REBAR FOUND	○ GAS REGULATOR/METER	○ PARCEL BOUNDARY	— UNDERGROUND TELEPHONE
● 1" IRON PIPE FOUND	○ ELECTRIC MANHOLE	— SECTION LINE	— UNDERGROUND CABLE
● PK/MAG NAIL FOUND	○ ELECTRIC PEDESTAL	— RIGHT-OF-WAY LINE	— EDGE OF WOODS OR BRUSH
○ 3/4" x 24" REBAR SET (1.50 LBS/LF)	○ ELECTRIC TRANSFORMER	— CENTERLINE	— BUILDING
○ BENCHMARK	○ LIGHT POLE	— PLATTED LOT LINE	— INDEX CONTOUR
○ BOLLARD	○ POWER POLE W/O/UY	— FENCE LINE	— INTERMEDIATE CONTOUR
○ MAIL BOX	○ TELEPHONE PEDESTAL	— CONCRETE CURB & GUTTER	— SPOT ELEVATION
○ SIGN	○ CABLE PEDESTAL	— WATER LINE	— SANITARY SEWER
○ SANITARY MANHOLE	○ DECIDUOUS TREE	— WATER SEWER	— CONCRETE PAVEMENT
○ STORM MANHOLE	○ CONIFEROUS TREE	— STORM SEWER	— BITUMINOUS PAVEMENT
○ CURB INLET	○ POST	— END OF FLAGGED UTILITIES	— DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. THE WEEK OF NOVEMBER 14, 2016.
 - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 01-05-10, BEARS N 00°17'13" W.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO. 20161700128 WITH A START DATE OF APRIL 21, 2016.
 - OUTLOT 4, FIRST ADDITION TO BADGER PRAIRIE NEIGHBORHOOD IS ALSO AN EASEMENT FOR SANITARY SEWER, WATER AND UTILITIES.

LEGAL DESCRIPTION - FURNISHED
(PREFERRED TITLE AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 116100275, EFFECTIVE DATE: OCTOBER 12, 2016 AT 7:44 A.M.)

PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4, SECTION 15, TOWN 6 NORTH, RANGE 8 EAST, TOWN OF VERONA, NOW CITY OF VERONA, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 15; THENCE NORTHERLY ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 15, 2.98 FEET; THENCE NORTH 88°34'42" WEST, 0.31 FEET TO THE CITY OF MADISON MONUMENT REPRESENTING THE NORTH 1/4 CORNER OF SAID SECTION 15; THENCE SOUTH 88°34'42" EAST ALONG THE INDICATED NORTH LINE OF SAID SECTION 15, 210.72 FEET; THENCE SOUTH 4°48'20" EAST, 163.02 FEET, SAID LINE HAS PREVIOUSLY BEEN RECORDED AS BEARING SOUTH 1°31' EAST, 164.08 FEET; THENCE SOUTH 11°18'10" EAST, 1111.14 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID LINE HAS PREVIOUSLY BEEN RECORDED AS BEARING SOUTHERLY; THENCE CONTINUING SOUTH 11°18'10" EAST, 88.86 FEET, SAID LINE HAS PREVIOUSLY BEEN RECORDED AS BEARING SOUTHERLY; THENCE NORTH 89°05'30" WEST, 219.65 FEET, MORE OR LESS TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 15, SAID LINE HAS PREVIOUSLY BEEN RECORDED AS BEARING WESTERLY 217 FEET; THENCE SOUTH 11°10'4" EAST ALONG THE NORTH-SOUTH 1/4 LINE 374.33 FEET, MORE OR LESS, SAID LINE PREVIOUSLY BEEN RECORDED AS BEARING WESTERLY 217 FEET; THENCE SOUTH 11°10'4" EAST, 8.92 FEET ALONG THE WESTERLY LINE OF A PROPOSED 60 FOOT ROAD; THENCE NORTH 0°55'10" WEST, 438.65 FEET ALONG THE WESTERLY LINE OF A PROPOSED 60 FOOT ROAD; THENCE NORTH 88°34'42" WEST, 148.89 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID PARCEL IS SUBJECT TO A 38 FOOT ROAD RIGHT-OF-WAY ACROSS ITS WESTERLY SIDE.

TAX PARCEL NUMBER: 282/0608-151-8671-3



SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	984.24	N 971.44	8"	PVC
		E 971.48	8"	PVC
		S 971.42	8"	PVC
SAN-2	978.87	N 987.02	8"	PVC
		E 967.12	8"	PVC
		W 967.04	8"	PVC
	S 966.97	8"	PVC	

STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	986.68	W 983.38	10"	RCP
	973.60	N 970.48	18"	RCP
INL-2		SW 970.41	18"	RCP

CONTROL POINTS

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-100	455,943.51	781,575.88	984.11	CUT CROSS
CP-101	455,555.93	781,546.51	977.90	CUT CROSS
CP-103	455,540.38	781,122.45	982.63	M.A.G. NAIL
CP-104	455,812.66	781,115.46	994.48	M.A.G. NAIL

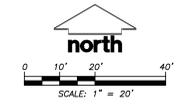
WATER VALVES

VALVE No.	SIZE	RIM ELEVATION	INVERT ELEVATION	TOP NUT ELEVATION	PIPE INVERT
WV-1	12"	983.84	TN	978.64	975.71
WV-2	12"	979.04	TN	973.04	970.11

TN-TOP NUT OF WATER VALVE

LINE TABLE

LINE	BEARING	DISTANCE
L-1	N 01°06'25" W	1.33'
L-2	S 1°12'01" E	8.77'
()	S 09°21'50" E	8.65'



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
841 NORTH MAIN STREET

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS

#	Date	Description
1	08.07.17	SITE PLAN SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: J.R.
Approved: T.J.B.

SHEET TITLE:
ALTA / NSPS LAND TITLE SURVEY

SHEET NUMBER:
C1.0

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

LEGEND (DEMOLITION PLAN)

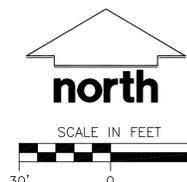
-----	PROPERTY LINE	-----	DEMOLITION AREA - REMOVAL OF OFFSITE ASPHALT
-----	RIGHT-OF-WAY	-----	DEMOLITION AREA - REMOVAL OF OFFSITE CONCRETE SURFACES
-----	EASEMENT LINE	-----	DEMOLITION AREA - REMOVAL OF OFFSITE CURB SURFACES
-----	DEMOLITION AREA - REMOVAL OF ONSITE CONCRETE SURFACES	-----	DEMOLITION AREA - SAWCUT EXISTING PAVEMENT
-----	DEMOLITION AREA - REMOVAL OF ONSITE BUILDINGS		
-----	DEMOLITION AREA - REMOVAL OF ONSITE UTILITIES		
-----	TREE REMOVAL		
-----	SHRUB REMOVAL		

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

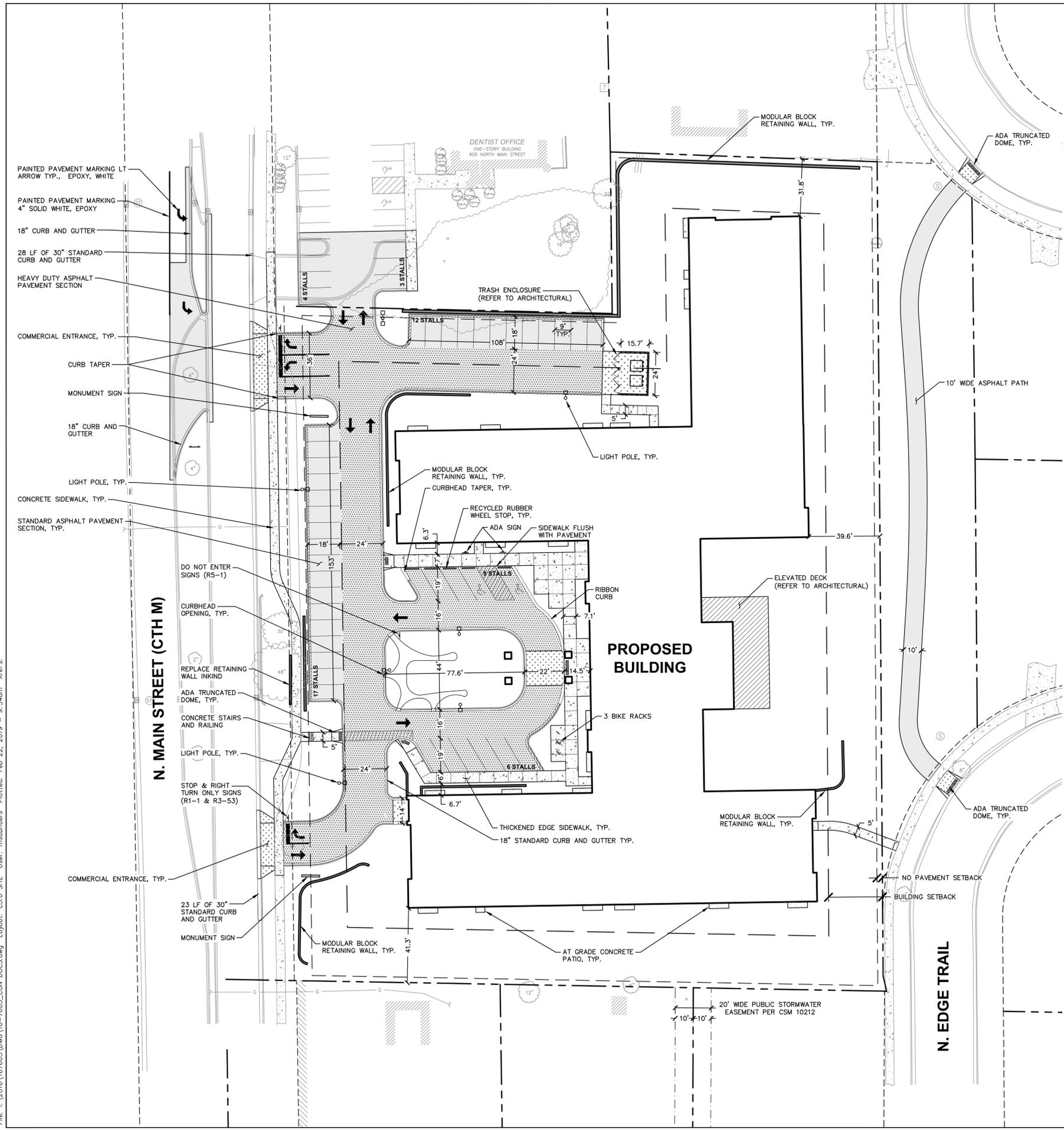
DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE AND IDENTIFY ADDITIONAL ITEMS THAT MAY BE NECESSARY IN THEIR BID. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AS THEY ARE DETERMINED.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF VERONA SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF VERONA SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING. SCOPE OF WORK IS BASED UPON THE CONTRACT DOCUMENTS. ANY QUANTITIES PROVIDED ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS REQUIRED TO REPORT THEIR OWN TAKE OFFS.
- WELL ABANDONMENT SHALL BE IN ACCORDANCE WITH WDNR AND LOCAL REGULATIONS. PROVIDE A COMPLETE RECORD OF CLOSURE (WDNR PERMIT 3300-005) COMPLETED BY A CONTRACTOR LICENSED TO PERFORM THAT WORK. CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE CITY OF VERONA FOR CITY RECORDS.
- PRIVATE SEPTIC SYSTEM SHALL BE REMOVED IN ACCORDANCE WITH PUBLIC HEALTH AND WDNR STANDARDS AND A RECORD OF CLOSURE (DANE COUNTY PUBLIC HEALTH PRIVATE SEPTIC SYSTEM ABANDONMENT PERMIT). CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE CITY OF VERONA FOR CITY RECORDS.



PRELIMINARY
NOT FOR CONSTRUCTION

File: I:\2016\167603\DWG\16-7603_CON_DOCS.dwg Layout: C3.0 SITE User: msanders Plotted: Feb 22, 2019 - 9:54am Xref's:



LEGEND (SITE PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- - - PAVEMENT SETBACK LINE
- - - BUILDING OUTLINE
- ===== EDGE OF PAVEMENT
- ===== STANDARD CURB AND GUTTER
- ===== REJECT CURB AND GUTTER
- ===== MOUNTABLE CURB
- ===== ASPHALT PAVEMENT
- ===== HEAVY DUTY ASPHALT PAVEMENT
- ===== CONCRETE PAVEMENT
- ===== HEAVY DUTY CONCRETE PAVEMENT
- ===== MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS

SITE INFORMATION BLOCK

Site Address	841 N. MAIN STREET
Site Acreage (total)	3.45
Number of Building Stories (above grade)	2
(below grade)	3
Number of Parking Stories (below grade)	1
Total Impervious Surface Area	73,029 SF
Building Footprint (Area)	44,733 SF
Gross Building Square Footage	125,548 SF
Use of Property	Institutional
841 N. Main Parking Stalls:	
Surface	
Large Stall	38
Accessible	2
Total Surface	40
Underground	68

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

- GENERAL**
 - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF VERONA ORDINANCES AND THE GEOTECHNICAL REPORT.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - CODES AND STANDARDS** - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS** - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL** - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE** - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE** - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE** - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS** - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
 - USE 4" WIDE, HIGH VISIBILITY WHITE LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS, AND LOCATIONS WHERE WALK AND PAVEMENT MEET.
 - PAVEMENT MARKERS WITHIN THE RIGHT OF WAY SHALL BE EPOXY PER WISDOT STANDARD SPECIFICATIONS.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:

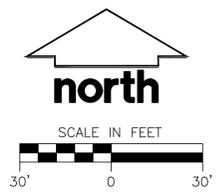
#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: KYJ
Approved: WHD

SHEET TITLE:
SITE PLAN

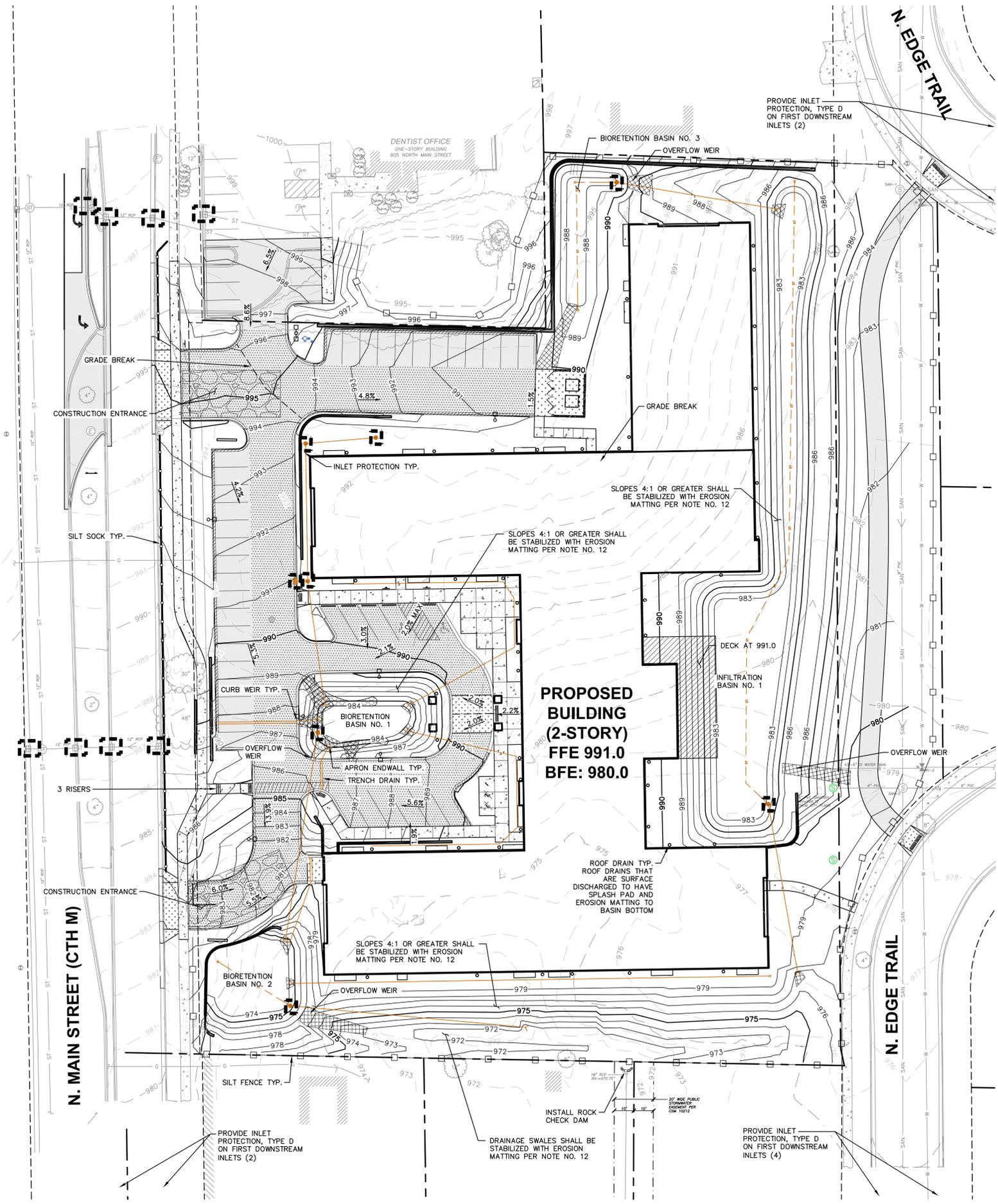
SHEET NUMBER:
C3.0

JSD PROJECT NO: 16-7603



PRELIMINARY
NOT FOR CONSTRUCTION

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



LEGEND

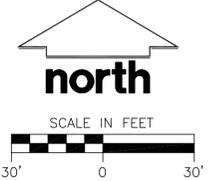
---	PROPERTY LINE	=====	CONCRETE PAVEMENT
- - - -	RIGHT-OF-WAY	=====	HEAVY DUTY CONCRETE PAVEMENT
- - - -	EASEMENT LINE	=====	STORMWATER MANAGEMENT AREA
---	BUILDING SETBACK LINE	=====	BOULDER RETAINING WALL
---	PAVEMENT SETBACK LINE	=====	MODULAR BLOCK RETAINING WALL
---	BUILDING OUTLINE	=====	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	BUILDING OVERHANG	=====	ADA PARKING BOLLARDS/SIGNS
---	EDGE OF PAVEMENT	=====	PROPOSED 1 FOOT CONTOUR
---	STANDARD CURB AND GUTTER	=====	PROPOSED 5 FOOT CONTOUR
---	REJECT CURB AND GUTTER	=====	EXISTING 1 FOOT CONTOUR
---	MOUNTABLE CURB	=====	EXISTING 5 FOOT CONTOUR
---	ASPHALT PAVEMENT	=====	GRADE BREAK
---	HEAVY DUTY ASPHALT PAVEMENT	=====	SILT FENCE
---	EROSION CONTROL MAT CLASS III, TYPE A	=====	SILT SOCK
---		=====	INLET PROTECTION, TYPE D

CONSTRUCTION SITE EROSION CONTROL

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF VERONA OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF VERONA ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF VERONA PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND/OR AS REQUESTED BY THE CITY OF VERONA.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND ROCK CHECK DAM SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING
 - EROSION CONTROL MAT CLASS III, TYPE A SHALL BE NORTH AMERICAN GREEN C350 INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS

STORMWATER FACILITIES CONSTRUCTION NOTES

- ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
- STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
- AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
- CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
- NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
- NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
- THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:

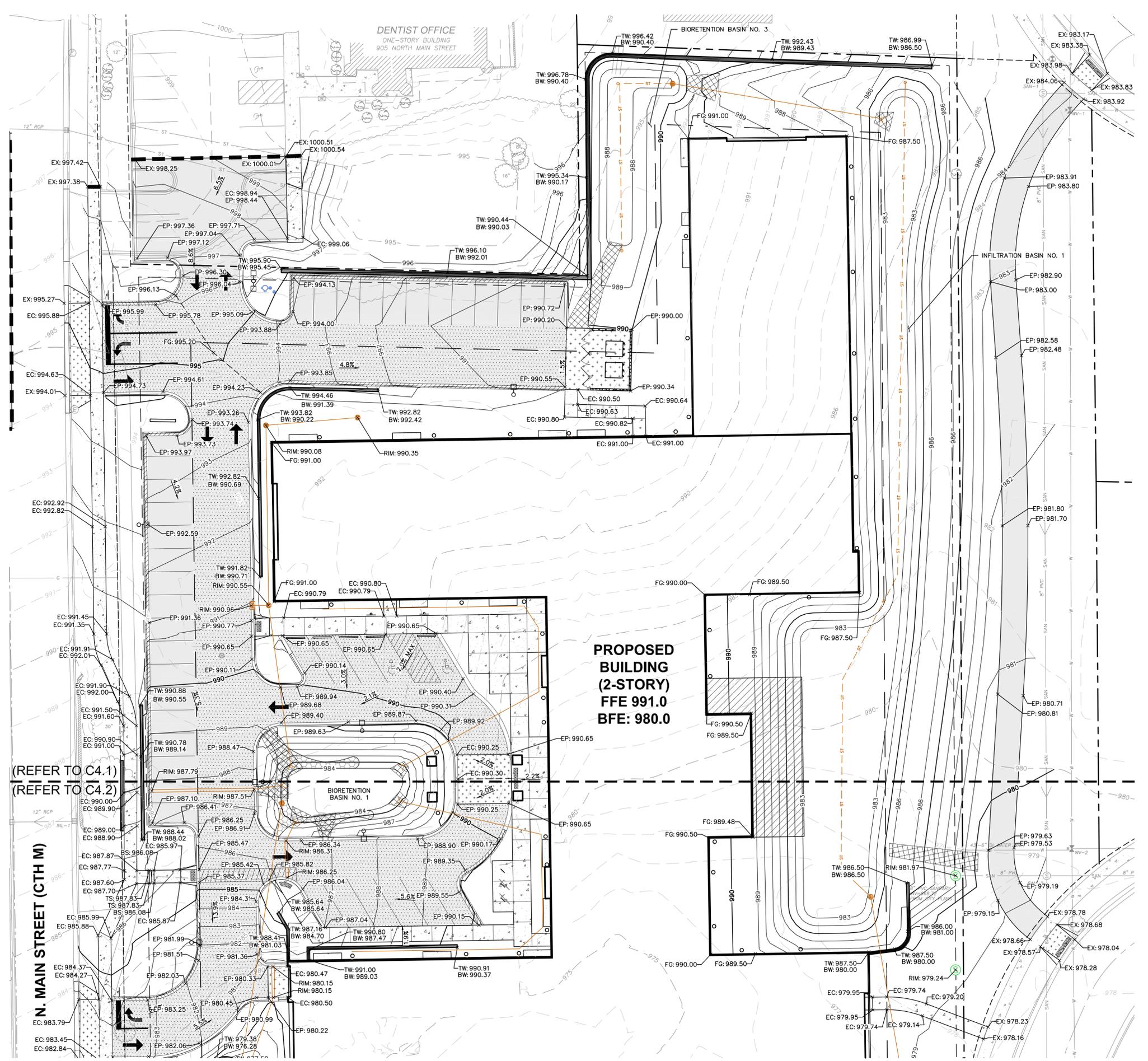
#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS
Approved: WHD

SHEET TITLE:
GRADING AND EROSION CONTROL

SHEET NUMBER:
C4.0

File: I:\2016\167603\DWG\16-7603_CON_DOCS.dwg Layout: C4.1 G & EC User: msounders Plotted: Feb 22, 2019 10:00am Xref's:



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING SETBACK LINE
- PAVEMENT SETBACK LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- EROSION CONTROL MAT CLASS III, TYPE A
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- BOULDER RETAINING WALL
- MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING BOLLARDS/SIGNS
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- GRADE BREAK
- SILT FENCE
- SILT SOCK
- INLET PROTECTION, TYPE D

SPOT ELEVATION
 EP - EDGE OF PAVEMENT
 FG - FINISH GRADE
 EC - EDGE OF CONCRETE
 TS - TOP OF STEP
 BS - BOTTOM OF STEP
 RIM - RIM ELEVATION
 EX - MATCH EXISTING GRADE



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
 VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
 DANE COUNTY, WI**

PLAN MODIFICATIONS:

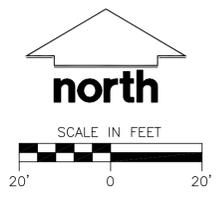
#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: KYJ
 Approved: WHD

SHEET TITLE:
GRADING AND EROSION CONTROL - NORTH

SHEET NUMBER:
C4.1

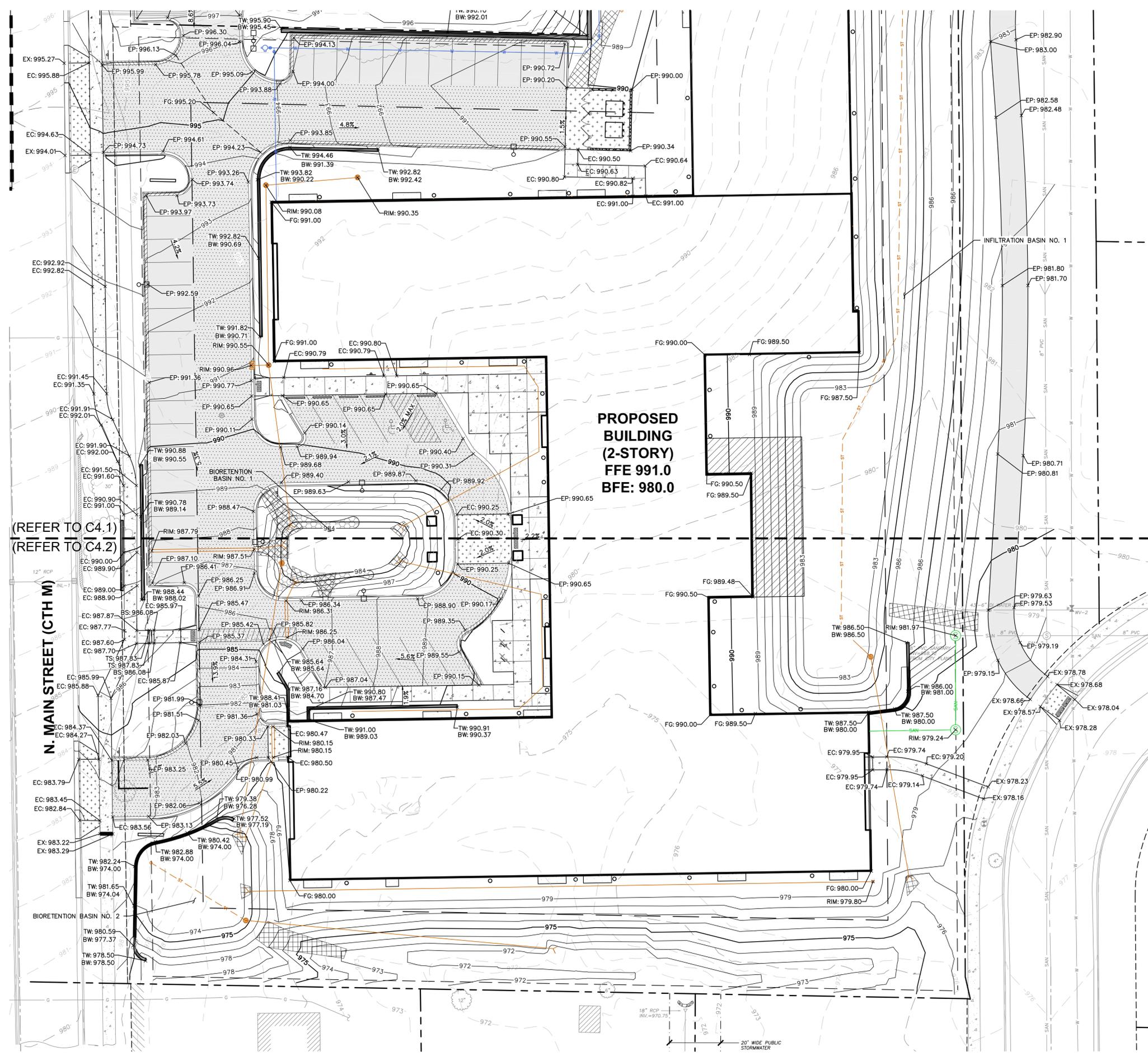
JSD PROJECT NO: 16-7603



PRELIMINARY
 NOT FOR CONSTRUCTION

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2016\167603\DWG\16-7603_CON_DOCS.dwg Layout: C4.2 G. & EC User: msanders Plotted: Feb 22, 2019 - 10:00am Xrefs:



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING SETBACK LINE
- PAVEMENT SETBACK LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- EROSION CONTROL MAT CLASS III, TYPE A
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- BOULDER RETAINING WALL
- MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING BOLLARDS/SIGNS
- 991 PROPOSED 1 FOOT CONTOUR
- 990 PROPOSED 5 FOOT CONTOUR
- 991 EXISTING 1 FOOT CONTOUR
- 990 EXISTING 5 FOOT CONTOUR
- GRADE BREAK
- SILT FENCE
- SILT SOCK
- INLET PROTECTION, TYPE D

SPOT ELEVATION
 EP - EDGE OF PAVEMENT
 FG - FINISH GRADE
 EC - EDGE OF CONCRETE
 TS - TOP OF STEP
 BS - BOTTOM OF STEP
 RIM - RIM ELEVATION
 EX - MATCH EXISTING GRADE

**PROPOSED BUILDING
(2-STORY)
FFE 991.0
BFE: 980.0**

(REFER TO C4.1)
(REFER TO C4.2)

N. MAIN STREET (CTH M)

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: KJY
Approved: WHD

SHEET TITLE:
GRADING AND EROSION CONTROL - SOUTH

SHEET NUMBER:
C4.2

JSD PROJECT NO: 16-7603

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

**PRELIMINARY
NOT FOR CONSTRUCTION**

north

SCALE IN FEET

20' 0 20'

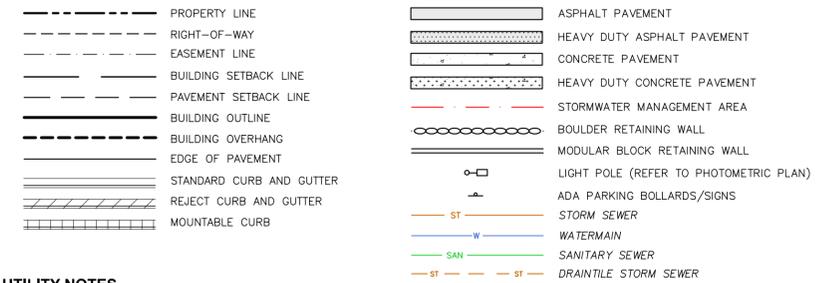
DIGGERS HOTLINE
Toll Free (800) 242-8511

File: I:\2016\167603\DWG\16-7603_CON_D0CS.dwg User: msandberg Plotted: Feb 22, 2019 - 10:12am Xref's:

PROPOSED STORM SEWER PIPE SCHEDULE							
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	CB NO. 1	AEW NO. 1	121.0	972.00	971.40	0.50	12" HDPE
P-2	CD NO. 1	AEW NO. 2	244.0	977.91	974.25	1.50	8" HDPE
P-3	TD NO. 1	AEW NO. 3	33.0	974.58	974.25	1.00	8" HDPE
P-4	CB NO. 2	AEW NO. 4	107.0	977.46	974.25	3.00	15" HDPE
P-5	CB NO. 3	AEW NO. 5	63.0	985.64	984.25	2.20	12" HDPE
P-6	CB NO. 4	CB NO. 3	70.0	987.04	985.64	2.00	8" HDPE
P-7	CB NO. 5	CB NO. 4	36.0	987.40	987.04	1.00	8" HDPE
P-8	INL NO. 1	CB NO. 3	6.0	985.76	985.64	2.00	10" HDPE
P-9	TD NO. 2	AEW NO. 6	8.0	984.08	984.00	1.00	8" HDPE
P-10	TD NO. 3	AEW NO. 7	11.0	984.42	984.20	2.00	8" HDPE
P-11	CB NO. 6	AEW NO. 8	83.0	986.00	983.50	3.01	8" HDPE
P-12	CB NO. 7	AEW NO. 9	87.0	977.19	976.75	0.50	8" HDPE
P-13	EXINL NO. 2	EXINL NO. 1					REPLACE IN KIND

PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
CB NO. 1	972.00	976.60	4.60	36" DIA. MANHOLE	36" DIA. HALLA TRASH GRATE OR EQUIVALENT
CB NO. 2	977.46	983.85	6.39	36" DIA. MANHOLE	36" DIA. HALLA TRASH GRATE OR EQUIVALENT
CB NO. 3	985.64	990.55	4.91	24" DIA. ADS DRAIN BASIN	NYLOPLAST DOME GRATE OR EQUIVALENT
CB NO. 4	987.04	990.08	3.04	24" DIA. ADS DRAIN BASIN	NYLOPLAST DOME GRATE OR EQUIVALENT
CB NO. 5	987.40	990.35	2.95	12" INLINE DRAIN	NYLOPLAST DOME GRATE OR EQUIVALENT
CB NO. 6	986.00	989.45	3.45	36" DIA. MANHOLE	36" DIA. HALLA TRASH GRATE OR EQUIVALENT
CB NO. 7	977.19	985.00	7.82	24" DIA. MANHOLE	24" DIA. HALLA TRASH GRATE OR EQUIVALENT
INL NO. 1	985.76	990.96	5.20	2'x3' CURB BOX	R-3067 TYPE R GRATE
TD NO. 1	974.58	980.15	5.57	CAST-IN-PLACE TRENCH DRAIN BOX	R-4990-CX HEAVY DUTY TRENCH GRATE
TD NO. 2	984.33	986.31	1.98	CAST-IN-PLACE TRENCH DRAIN BOX	R-4990-CX HEAVY DUTY TRENCH GRATE
TD NO. 3	984.47	987.51	3.04	CAST-IN-PLACE TRENCH DRAIN BOX	R-4990-CX HEAVY DUTY TRENCH GRATE

LEGEND



UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF VERONA SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -
 - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
 - INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING.
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF VERONA. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - CITY UTILITY WILL OPERATE VALVES DURING INSTALLATION OF TEE CONNECTION. CONTACT UTILITY COMPANY 48 HOURS PRIOR TO CONSTRUCTION.
- SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF VERONA.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1540 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060

CLIENT: FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS: 161 HORIZON DRIVE, STE 101A VERONA, WI 53593

PROJECT: OAKMONT SENIOR LIVING

PROJECT LOCATION: CITY OF VERONA DANE COUNTY, WI

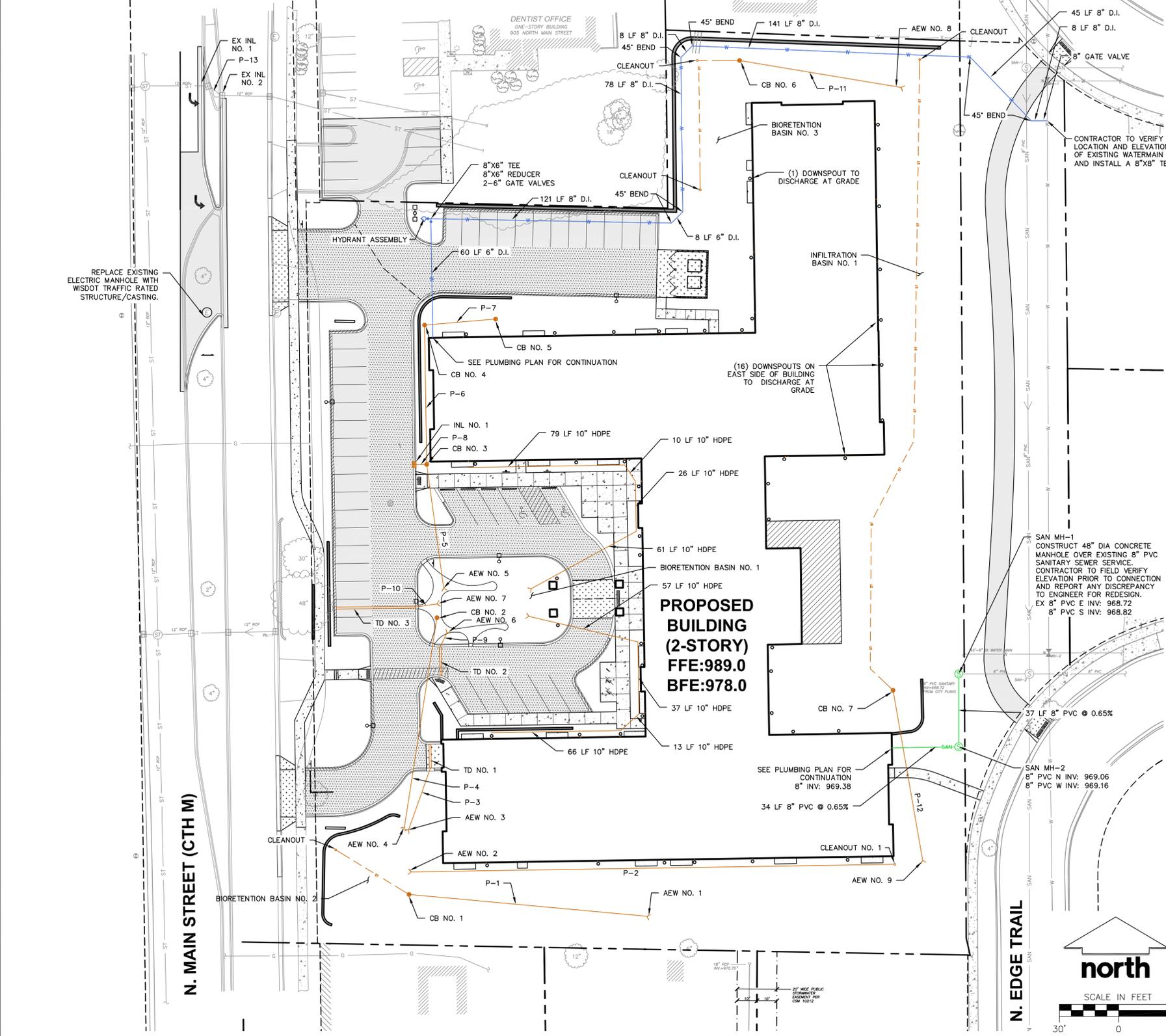
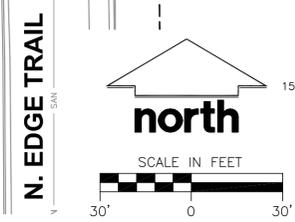
PLAN MODIFICATIONS:		
#	Date:	Description:
1	08.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: KYJ Approved: WHD

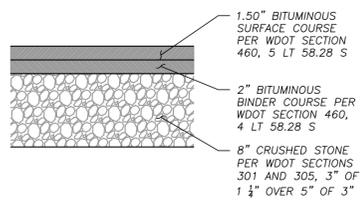
SHEET TITLE: UTILITY PLAN

SHEET NUMBER: C5.0

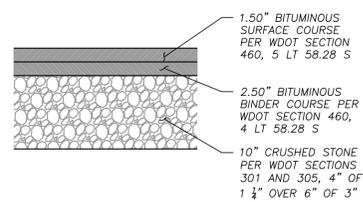
JSD PROJECT NO: 16-7603



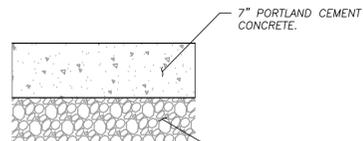
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



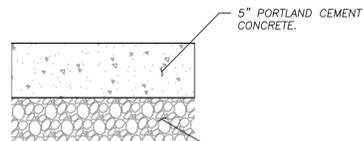
STANDARD ASPHALT PAVEMENT



HEAVY DUTY ASPHALT PAVEMENT



HEAVY DUTY CONCRETE SECTION

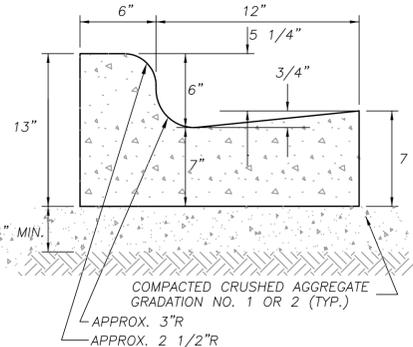


CONCRETE SIDEWALK SECTION

- NOTES:
- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY CGG, INC. TITLED "C17424 GEOTECHNICAL EXPLORATION REPORT- PROPOSED SENIOR LIVING FACILITY- 841 NORTH MAIN STREET" DATED NOVEMBER 1, 2017. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
 - WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
 - COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION
 - MIXTURE TYPE E-1.0 BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS. AN EQUIVALENT GEORGRID MUST BE COMPARABLE IN STRENGTH, WITH INTEGRALLY BONDED OR EXTRUDED NODES. GEORGRIDS WITH FUSION-BOND OR WELDED NODES ARE INSUFFICIENTLY DURABLE TO WITHSTAND CONSTRUCTION AND INSTALLATION STRESSES.
 - MAIN TRAFFIC LANES ARE DEFINED AS AREAS WHERE CONSTRUCTION TRAFFIC WILL BE CONCENTRATED. THESE AREAS SHOULD BE MARKED AS THE PREFERRED TRAVEL ROUTES DURING CONSTRUCTION TO REDUCE TRAFFIC ON AREAS NOT DESIGNED FOR THE HEAVY LOADS AND TRUCK VOLUME. THE MAIN TRAFFIC LANES INCLUDE GEORGRID LAYERS INSTEAD OF GEOTEXTILE, TO ACCOMMODATE CONSTRUCTION TRAFFIC.

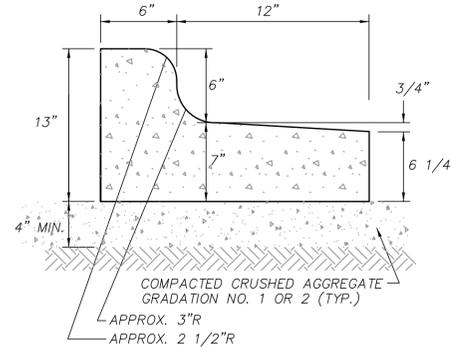
PAVEMENT SECTIONS

N.T.S.



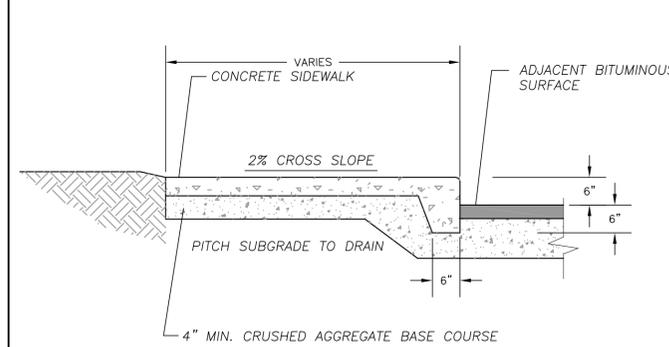
18" STANDARD CURB AND GUTTER

N.T.S.



18" REJECT CURB AND GUTTER

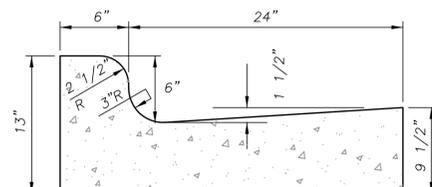
N.T.S.



THICKENED EDGE SIDEWALK CROSS SECTION

N.T.S.

REFER TO SITE PLAN FOR CONSTRUCTION AND CONTROL JOINT LOCATIONS



TYPE 'A' CONCRETE CURB & GUTTER

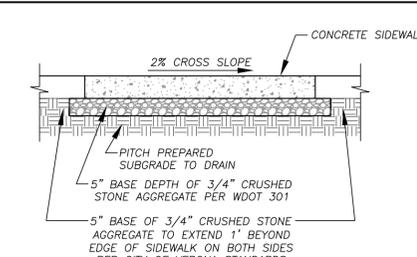
GENERAL NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE

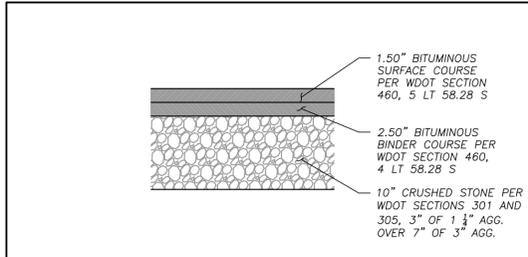
30" STANDARD CURB & GUTTER

N.T.S.



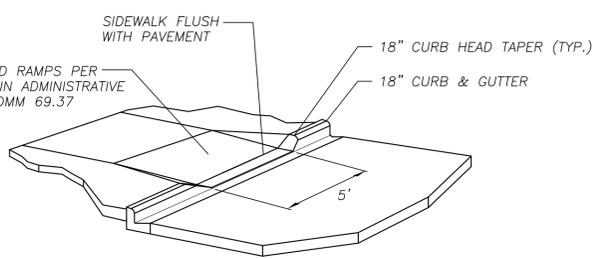
PUBLIC CONCRETE SIDEWALK SECTION

N.T.S.



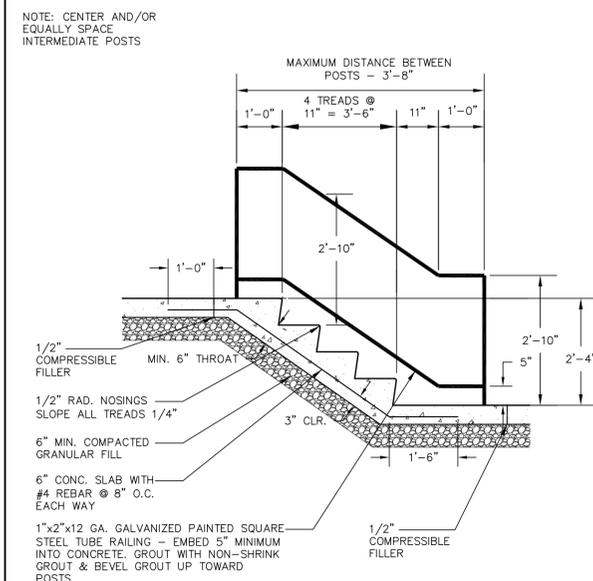
TYPICAL PUBLIC ASPHALT PAVEMENT CROSS SECTION

N.T.S.



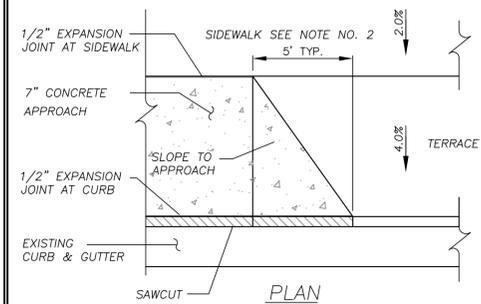
SIDEWALK RAMP DETAIL

N.T.S.



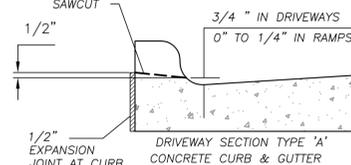
SITE STAIR - NORTH, EAST & WEST

N.T.S.



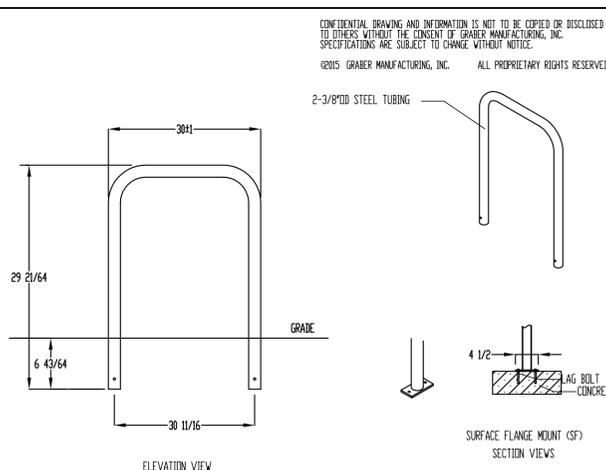
COMMERCIAL ENTRANCE

N.T.S.



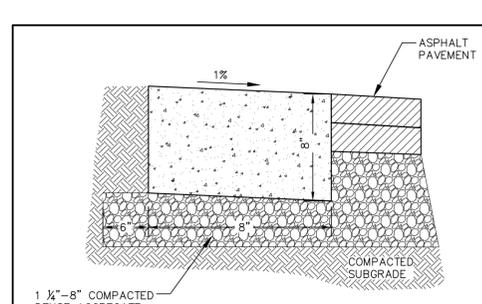
CURB SECTION

- NOTES:
- CONCRETE DRIVE APPROACHES SHALL BE 7" THICK OVER 6" OF 1-1/4" CRUSHED AGGREGATE.
 - SIDEWALKS ACROSS DRIVE ENTRANCES SHALL BE INCREASED TO 7" CONCRETE OVER 6" OF 1-1/4" CRUSHED AGGREGATE THICKNESS FOR PUBLIC SIDEWALK.



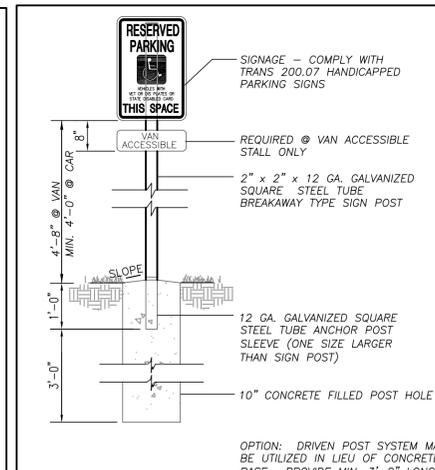
INVERTED-U BIKE RACK

N.T.S.



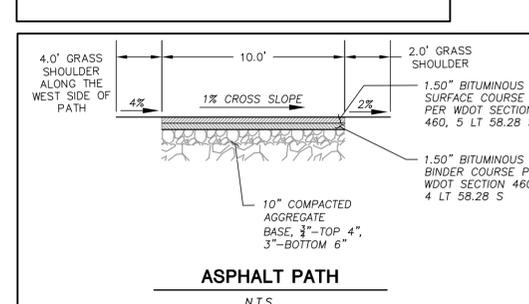
RIBBON CURB

N.T.S.



BARRIER FREE SIGN

N.T.S.



ASPHALT PATH

N.T.S.



CREATE THE VISION TELL THE STORY

MADISON MILWAUKEE
KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: EJD/PMP
Approved: PMP

SHEET TITLE:
DETAILS

SHEET NUMBER:

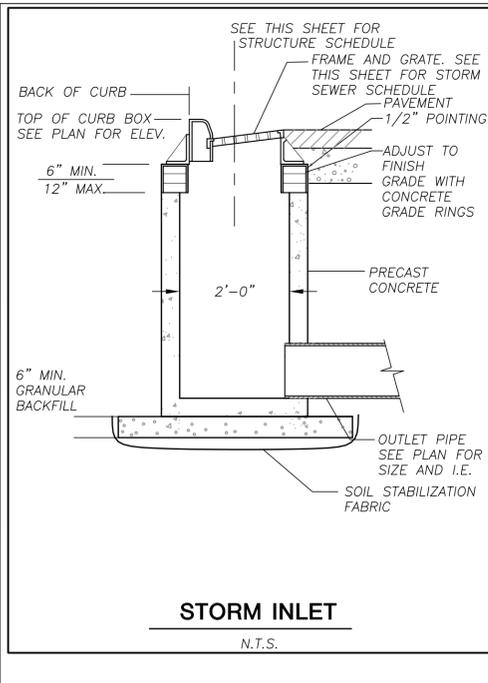
C6.0

JSD PROJECT NO:

16-7603

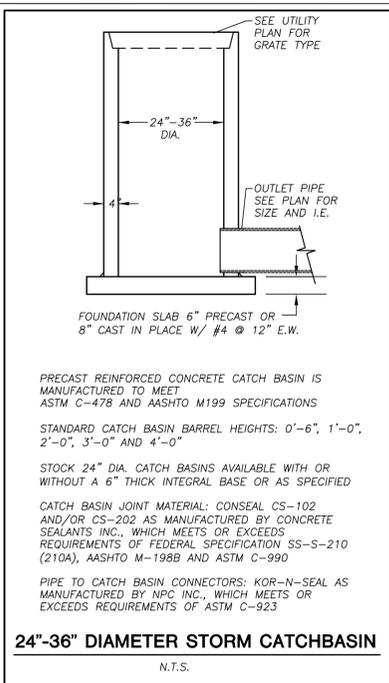


Toll Free (800) 242-8511



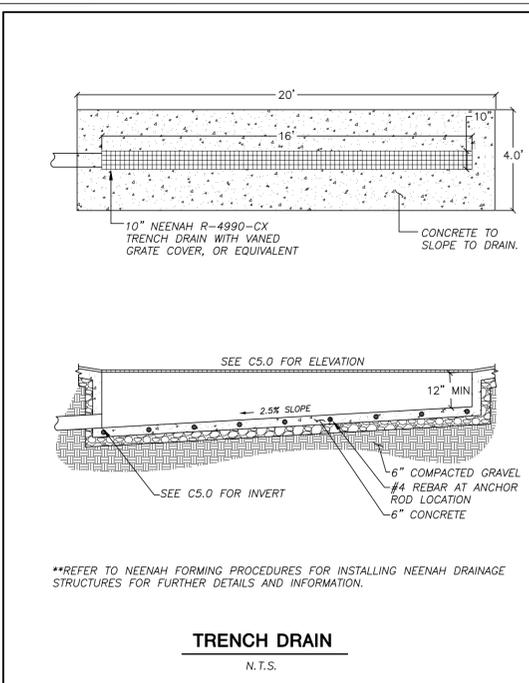
STORM INLET

N.T.S.



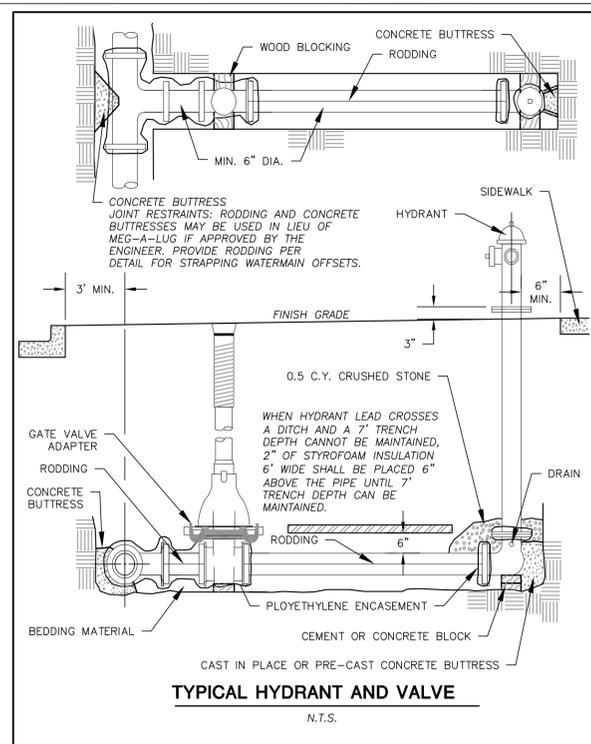
24"-36" DIAMETER STORM CATCHBASIN

N.T.S.



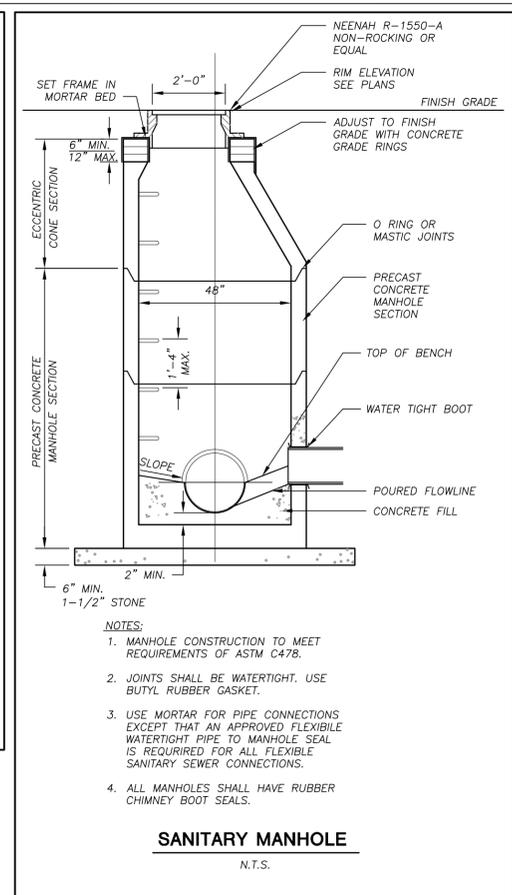
TRENCH DRAIN

N.T.S.



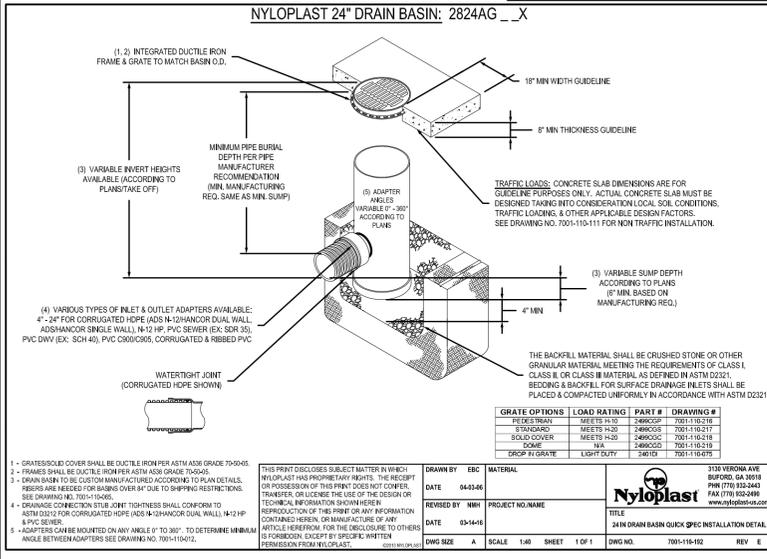
TYPICAL HYDRANT AND VALVE

N.T.S.



SANITARY MANHOLE

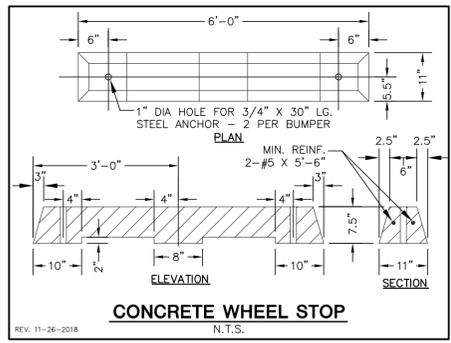
N.T.S.



NYLOPLAST 24" DRAIN BASIN: 2824AG _X

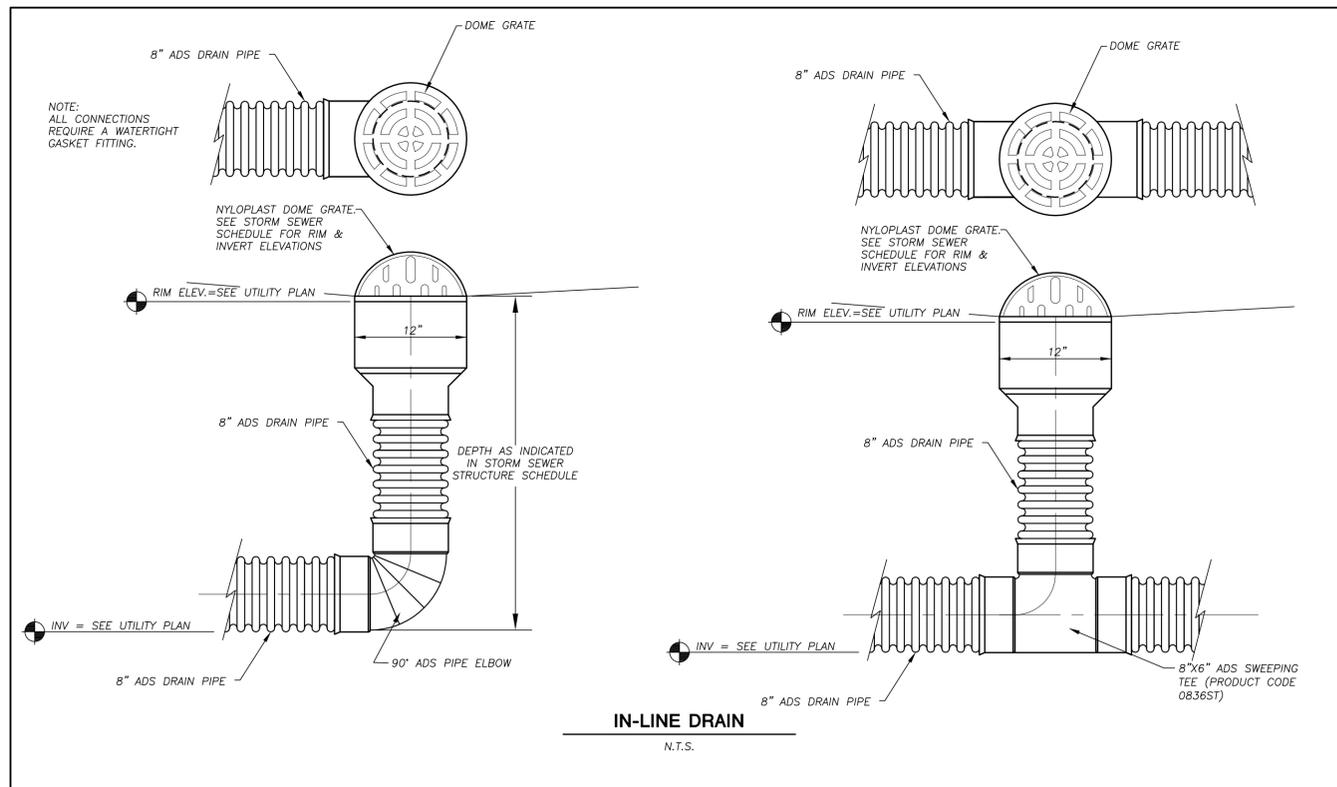
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
REINFORCED	MEETS H-20	2480CSP	7001-110-10
STANDARD	MEETS H-20	2480CSB	7001-110-11
SOLID COVER	MEETS H-20	2480CSC	7001-110-12
DOME	NA	2480CSD	7001-110-13
DROP TO GRATE	LIGHT DUTY	2480D	7001-110-14

Nyloplast
 3110 VERONA AVE
 BURLINGAME, CA 94010
 PH (774) 333-2449
 FAX (774) 333-2449
 WWW.NYLOPLAST.COM



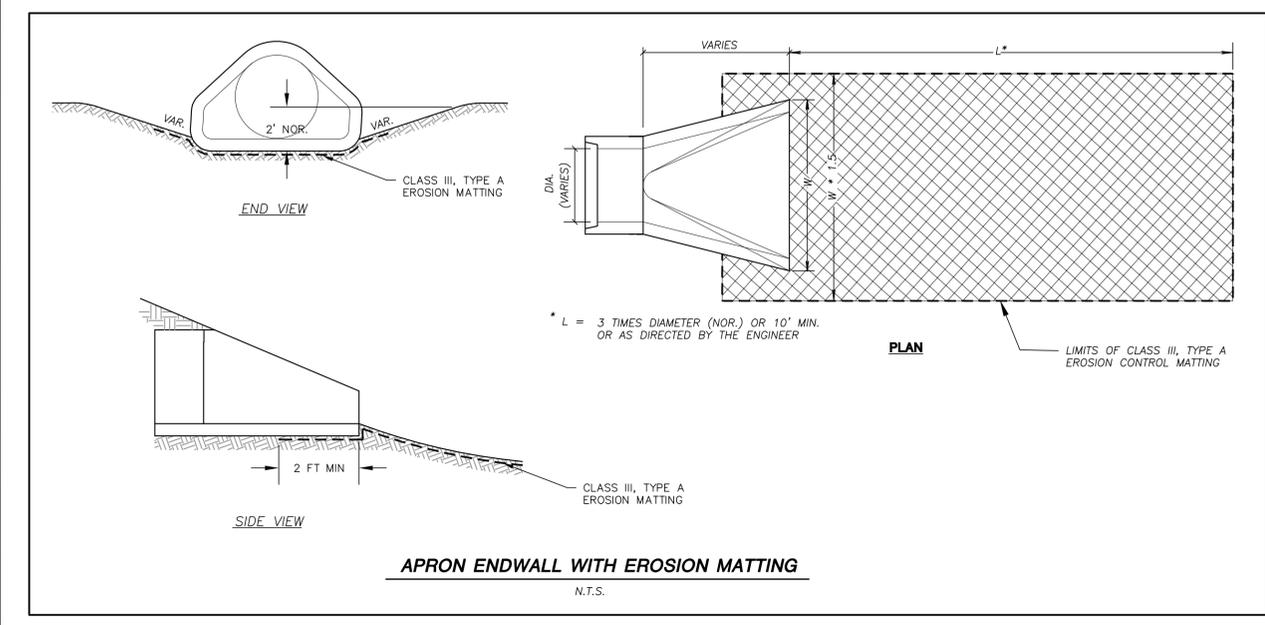
CONCRETE WHEEL STOP

N.T.S.



IN-LINE DRAIN

N.T.S.



APRON ENDWALL WITH EROSION MATTING

N.T.S.

JSD
 Professional Services, Inc.
 Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
 VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
 DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS
 Approved: BHD

SHEET TITLE:
DETAILS

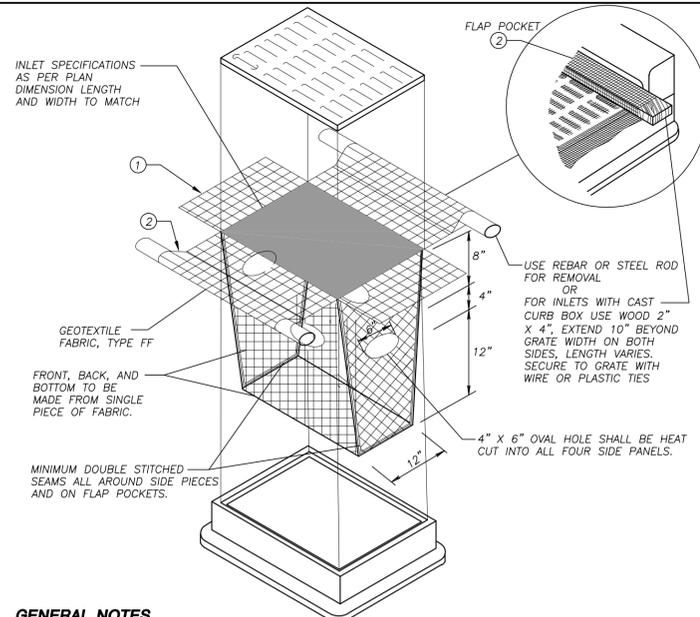
SHEET NUMBER:
C6.1

JSD PROJECT NO: 16-7803

PRELIMINARY
NOT FOR CONSTRUCTION

DIGGERS HOTLINE
 Toll Free (800) 242-8511

File: I:\2016\167603\DWG\16-7603_CON_DOCS.dwg Layout: C6.1 DETS User: msounders Plotted: Feb 22, 2019 9:26am Xref's:



GENERAL NOTES
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

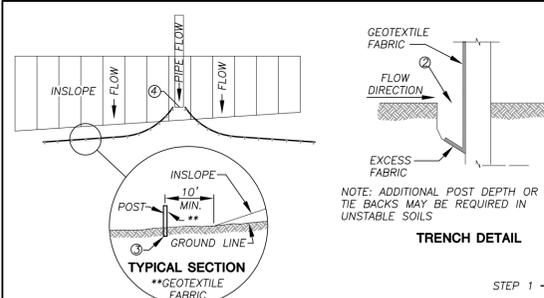
② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

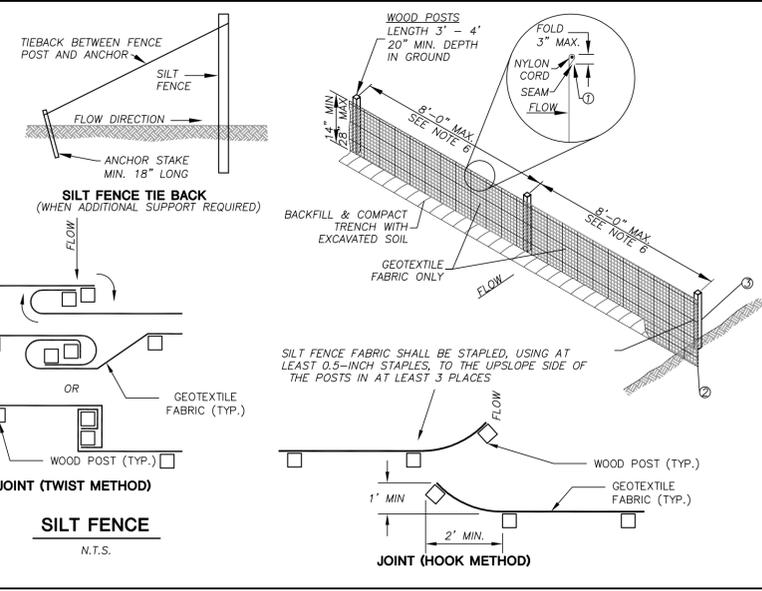
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION, TYPE D
 N.T.S.

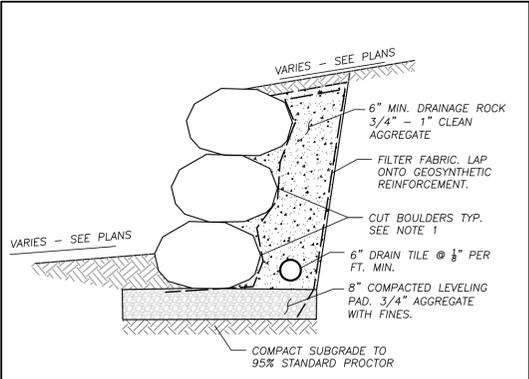


SILT FENCE ALONG SLOPES & OUTFALLS

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" WIDE AND 6" DEEP TRENCH OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8'-0" FOR WOVEN & 3'-0" FOR NON-WOVEN)

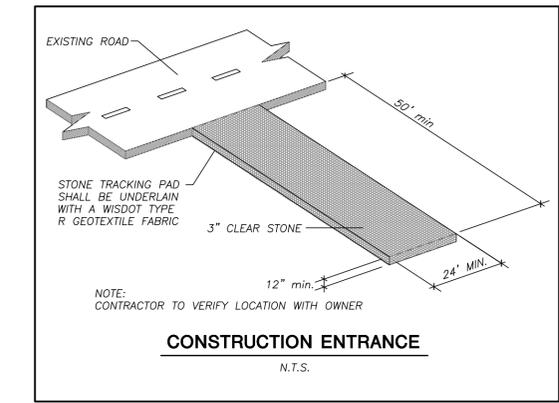


SILT FENCE
 N.T.S.

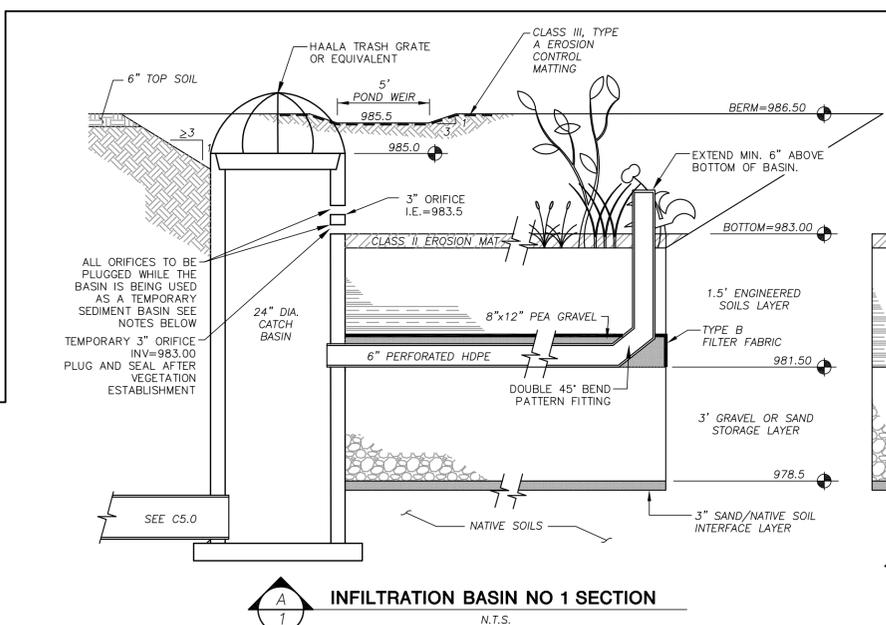


- NOTES:
- SIZE, COLOR AND SPECIFICATION TO BE PROVIDED FOR APPROVAL BY OWNER OR CONTRACTOR'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - BOULDER WALLS OVER 5 FEET HEIGHT SHALL BE DESIGNED BY REGISTERED GEOTECHNICAL OR STRUCTURAL ENGINEER AS PROVIDED ON SHOP DRAWINGS AND SUBMITTED PRIOR TO CONSTRUCTION.

BOULDER WALL
 N.T.S.



CONSTRUCTION ENTRANCE
 N.T.S.



INFILTRATION BASIN NO 1 SECTION
 N.T.S.

- GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1003 - INFILTRATION BASIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE INFILTRATION BASIN IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
 - CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 70% ASTM C33 SAND, 30% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
 - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
 - SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
 - ANNUAL RYE GRASS SHALL BE SEEDD AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
 - RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
 - NATIVE SOIL INFILTRATION RATE SHALL BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (i.e. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

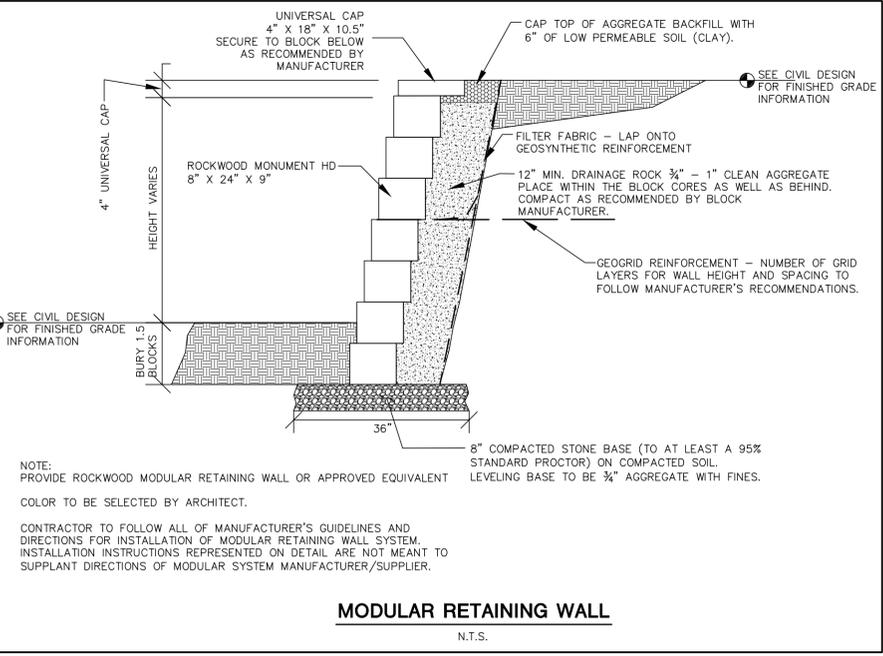
THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

- TEMPORARY SEDIMENT BASIN NOTES:**
- THE BASIN MAY BE CONSTRUCTED TO ACT AS A TEMPORARY SEDIMENT BASIN PER PLAN ELEVATIONS FROM TOP OF BERM TO BOTTOM OF BASIN. REFER TO BASIN DETAIL ABOVE. UNDERCUTTING FOR AND PLACEMENT OF ENGINEERED SOILS AND ANY SAND/GRAVEL LAYERS SHALL BE COMPLETED AFTER SUBSTANTIAL STABILIZATION OF THE UPSTREAM CONTRIBUTING AREAS TO THE BASIN. CONSTRUCTION SEDIMENT SHALL NOT BE ROUTED TO THE BASIN WITH ENGINEERED SOIL AND SAND LAYERS INSTALLED. SEE WDNR TECHNICAL STANDARD 1063 AND CONSTRUCTION SITE BEST PRACTICE HANDBOOK FOR ADDITIONAL DETAILS.
 - BASIN OUTLET STRUCTURE TO BE INSTALLED WHEN OPERATING AS TEMPORARY SEDIMENT BASIN. ORIFICES TO BE PLUGGED DURING THIS TIME AND REMOVED WHEN THE BASIN IS BEING CONSTRUCTED.
 - OUTLET STRUCTURES SHALL BE PROTECTED WITH TYPE B OR D INLET PROTECTION DURING CONSTRUCTION AND REMOVED UPON FINAL SITE AND BASIN STABILIZATION.
 - CONTRACTOR SHALL MAINTAIN A SAFE OUTLET AND PROTECT DOWNSTREAM AREAS FOR EROSION WITH APPROPRIATE EROSION CONTROL MEASURES.
 - AFTER CONSTRUCTION, SEDIMENTATION IS TO BE REMOVED FROM THE BASIN AND THE BASIN SHALL BE BUILT PER DESIGN SPECIFICATIONS.

SAND STORAGE LAYER: IF NATIVE SOIL INFILTRATION RATES ARE GREATER THAN OR EQUAL TO THE DESIGN SAND LAYER (3.6 IN/HR), NATIVE SOILS MAY BE USED. GEOTECHNICAL CONSULTANT SHALL PROVIDE THIS INFORMATION IN WRITTEN DOCUMENTATION FOR VERIFICATION PRIOR TO CONSTRUCTION.

AS-BUILT SURVEY AND CERTIFICATION: UPON CONSTRUCTION COMPLETION AND STABILIZATION, AN AS-BUILT SURVEY IS TO BE CONDUCTED FOR BASIN AND CERTIFIED BY THE ISSUING ENGINEER. SURVEYOR IS TO CONFIRM THE TEMPORARY 3" ORIFICE IN THE BASIN OUTLET HAS BEEN PLUGGED AND SEALED. AS-BUILT PLANS ARE TO BE SUBMITTED TO MUNICIPALITY FOR FINAL APPROVAL.

INFILTRATION BASIN
 N.T.S.



MODULAR RETAINING WALL
 N.T.S.

NOTE: PROVIDE ROCKWOOD MODULAR RETAINING WALL OR APPROVED EQUIVALENT. COLOR TO BE SELECTED BY ARCHITECT.

CONTRACTOR TO FOLLOW ALL OF MANUFACTURER'S GUIDELINES AND DIRECTIONS FOR INSTALLATION OF MODULAR RETAINING WALL SYSTEM. INSTALLATION INSTRUCTIONS REPRESENTED ON DETAIL ARE NOT MEANT TO SUPPLANT DIRECTIONS OF MODULAR SYSTEM MANUFACTURER/SUPPLIER.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
 VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
 DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS
 Approved: BHD

SHEET TITLE:
DETAILS

SHEET NUMBER:
C6.2



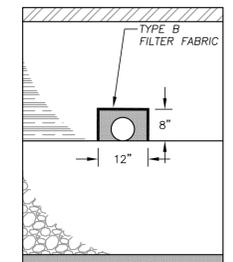
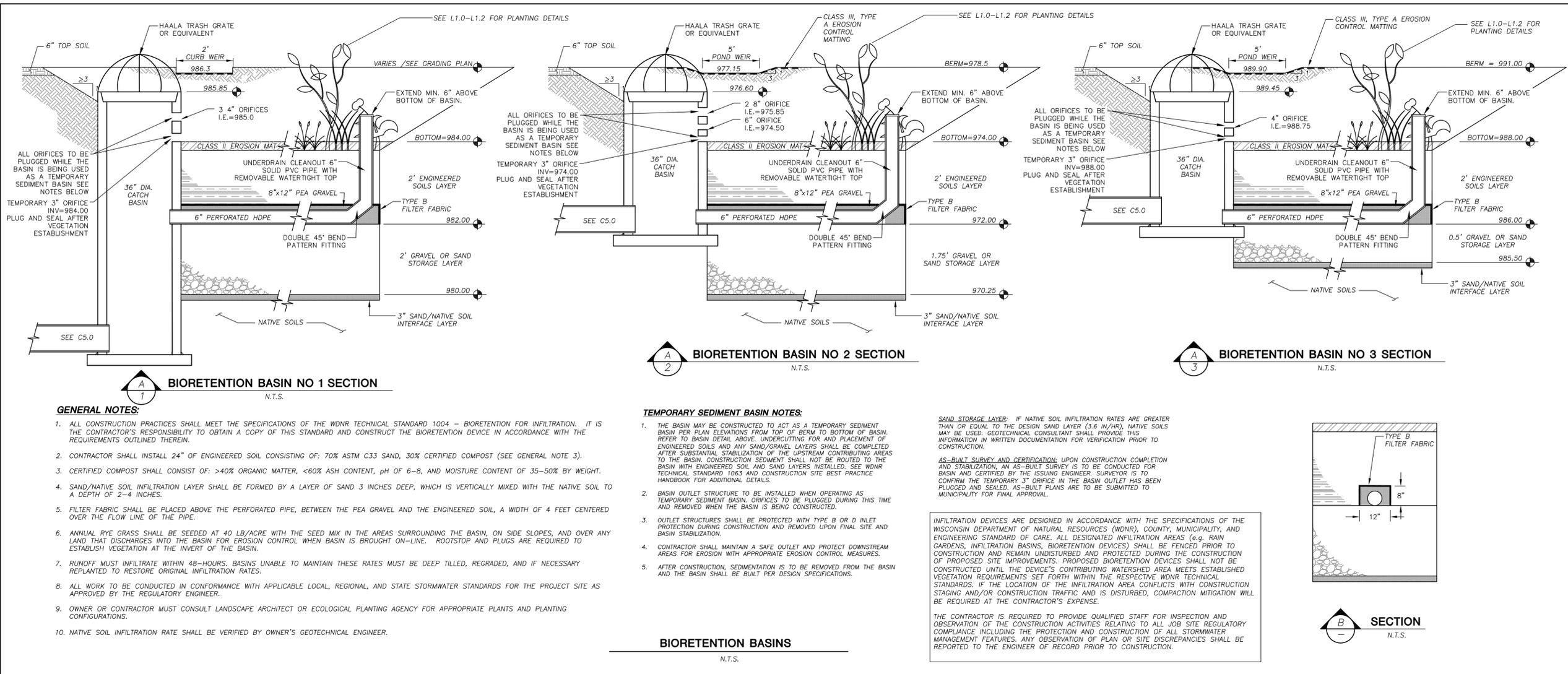
PLAN MODIFICATIONS:

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: EJD/PMP
Approved: PMP

SHEET TITLE:
DETAILS

SHEET NUMBER:
C6.3



PRELIMINARY
NOT FOR CONSTRUCTION

#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**LANDSCAPE PLAN -
OVERALL**

SHEET NUMBER:

L1.0

JSD PROJECT NO:

16-7603

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	MODULAR BLOCK RETAINING WALL
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA/TRAFFIC SIGNS
	POLYETHYLENE EDGING
	BIORETENTION PLANT PLUGS OR VEGETATIVE MAT
	"SHORT PRAIRIE SEED MIX"
	"DETENTION BASIN SEED MIX"
	PROPOSED WATER
	PROPOSED SANITARY
	PROPOSED STORM
	3-INCH DECORATIVE STONE COBBLES

BIORETENTION MIX B (730 sq. ft.)

Botanical Name	Common Name	Quantity	Spacing
Permanent Grasses:			
<i>Carex grayi</i>	Common Bur Sedge	41	1' On Center
<i>Carex stipata</i>	Common Fox Sedge	41	1' On Center
<i>Panicum virgatum</i>	Switch Grass	41	1' On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	41	1' On Center
Forbs:			
<i>Aster novae-angliae</i>	New England Aster	41	1' On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	41	1' On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	41	1' On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	41	1' On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	41	1' On Center
<i>Liatris spicata</i>	Marsh Blazing Star	41	1' On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	40	1' On Center
<i>Monarda fistulosa</i>	Wild Bergamot	40	1' On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	40	1' On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	40	1' On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	40	1' On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	40	1' On Center
<i>Veronicastrum virginianum</i>	Culver's Root	40	1' On Center
<i>Zizia aurea</i>	Golden Alexanders	40	1' On Center
TOTAL		730	

BIORETENTION BASIN A (712 sq. ft.)

Botanical Name	Common Name	Quantity	Spacing
Permanent Grasses:			
<i>Carex grayi</i>	Common Bur Sedge	42	1' On Center
<i>Carex stipata</i>	Common Fox Sedge	42	1' On Center
<i>Panicum virgatum</i>	Switch Grass	41	1' On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	41	1' On Center
Forbs:			
<i>Aster novae-angliae</i>	New England Aster	39	1' On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	39	1' On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	39	1' On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	39	1' On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	39	1' On Center
<i>Liatris spicata</i>	Marsh Blazing Star	39	1' On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	39	1' On Center
<i>Monarda fistulosa</i>	Wild Bergamot	39	1' On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	39	1' On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	39	1' On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	39	1' On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	39	1' On Center
<i>Veronicastrum virginianum</i>	Culver's Root	39	1' On Center
<i>Zizia aurea</i>	Golden Alexanders	39	1' On Center
TOTAL		712	

BIORETENTION MIX C (1,228 sq. ft.)

Botanical Name	Common Name	Quantity	Spacing
Permanent Grasses:			
<i>Carex grayi</i>	Common Bur Sedge	69	1' On Center
<i>Carex stipata</i>	Common Fox Sedge	69	1' On Center
<i>Panicum virgatum</i>	Switch Grass	69	1' On Center
<i>Spartina pectinata</i>	Prairie Cord Grass	69	1' On Center
Forbs:			
<i>Aster novae-angliae</i>	New England Aster	68	1' On Center
<i>Asclepias incarnata</i>	Swamp Milkweed	68	1' On Center
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	68	1' On Center
<i>Eryngium yuccifolium</i>	Rattlesnake Master	68	1' On Center
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	68	1' On Center
<i>Liatris spicata</i>	Marsh Blazing Star	68	1' On Center
<i>Lobelia cardinalis</i>	Cardinal Flower	68	1' On Center
<i>Monarda fistulosa</i>	Wild Bergamot	68	1' On Center
<i>Penstemon digitalis</i>	Foxglove Beardtongue	68	1' On Center
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	68	1' On Center
<i>Ratibida pinnata</i>	Yellow Coneflower	68	1' On Center
<i>Rudbeckia hirta</i>	Black-Eyed Susan	68	1' On Center
<i>Veronicastrum virginianum</i>	Culver's Root	68	1' On Center
<i>Zizia aurea</i>	Golden Alexanders	68	1' On Center
TOTAL		1228	

GENERAL NOTES

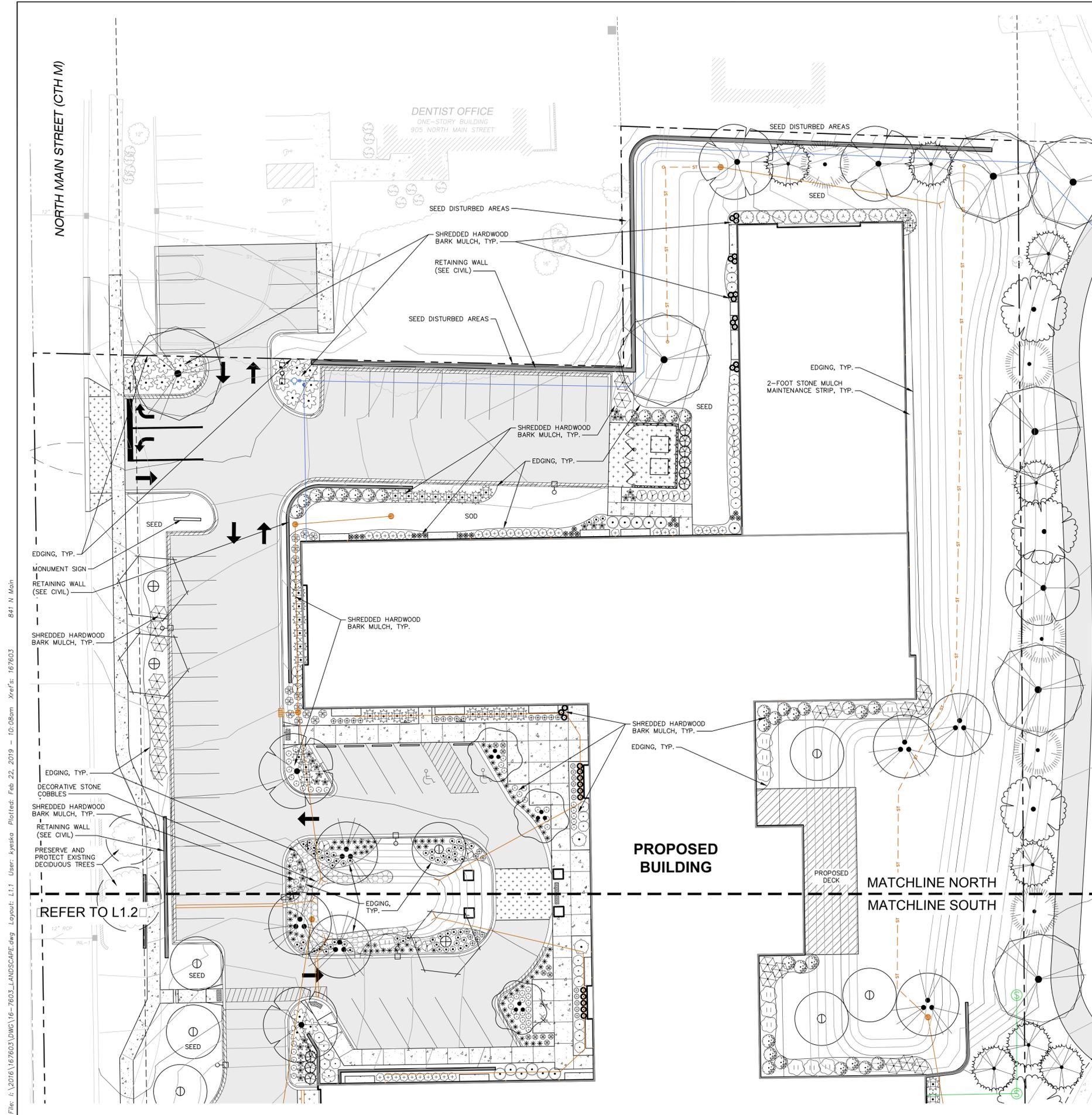
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS, NOTES & SPECIFICATIONS" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS AND FINISH GRADING ARE COMPLETE.
- ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.



File: I:\2016\167603\DWG\16-7603_LANDSCAPE.dwg Layout: L1.0 User: kyaska Plotted: Feb 22, 2019 - 10:00am Xref's: 167603 841, N. Main

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

PRELIMINARY
NOT FOR CONSTRUCTION



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA/TRAFFIC SIGNS
- POLYETHYLENE EDGING
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED STORM
- 3-INCH DECORATIVE STONE COBBLES

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
6	Red Sunset Red Maple	<i>Acer rubrum 'Red Sunset'</i>	B & B	1.5" Cal	30	
13	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	B & B	1.5" Cal	10	
6	Heritage River Birch	<i>Betula nigra 'Heritage'</i>	B & B	1.5" Cal (Multi-Stem)	15	
3	Eastern Redbud	<i>Cercis canadensis 'Columbus Strain'</i>	B & B	1.5" Cal	10	
3	Winter King Hawthorn	<i>Crataegus viridis 'Winter King'</i>	B & B	1.5" Cal	15	
7	Autumn Gold Maidenhair Tree	<i>Ginkgo biloba 'Autumn Gold' TM</i>	B & B	2" Cal	75	
13	Swamp White Oak	<i>Quercus bicolor</i>	B & B	2" Cal	75	
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
11	Black Hills Spruce	<i>Picea glauca 'Denso'</i>	B & B	Min. 4' Ht.	20	
13	Colorado Blue Spruce	<i>Picea pungens 'Glauca'</i>	B & B	Min. 4' Ht.	20	
12	Holmstrup Cedar	<i>Thuja occidentalis 'Holmstrup'</i>	B & B	Min. 4' Ht.	12	
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
11	Red Twig Dogwood	<i>Cornus sericea 'Bailey'</i>	3 gal	Min. 24" Ht.	3	
12	Annabelle Hydrangea	<i>Hydrangea arborescens 'Annabelle'</i>	3 gal	Min. 24" Ht.	3	
5	Little Quick Fire Hydrangea	<i>Hydrangea paniculata 'Little Quick Fire'</i>	3 gal	Min. 24" Ht.	3	
14	Little Henry Virginia Sweetspire	<i>Ilex virginica 'Sprich'</i>	3 gal	Min. 24" Ht.	3	
23	Center Glow Ninebark	<i>Physocarpus opulifolius 'Center Glow'</i>	3 gal	Min. 24" Ht.	3	
35	Tiny Wine Ninebark	<i>Physocarpus opulifolius 'SMPOTW'</i>	3 gal	Min. 24" Ht.	3	
28	Gr-Low Fragrant Sumac	<i>Rhus aromatica 'Gr-Low'</i>	3 gal	18" Min. Ht.	3	
35	Green Mound Alpine Currant	<i>Ribes alpinum 'Green Mound'</i>	3 gal	18" Min. Ht.	1	
27	Glow Girl Birchleaf Spirea	<i>Spiraea betulifolia 'Tor Gold'</i>	3 gal	Min. 24" Ht.	3	
2	Korean Spice Viburnum	<i>Viburnum carlesii</i>	3 gal	Min. 24" Ht.	3	
16	Blue Muffin Arrowwood Viburnum	<i>Viburnum dentatum 'Blue Muffin'</i>	3 gal	Min. 24" Ht.	3	
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
41	Sea Green Juniper	<i>Juniperus x pfitzeriana 'Sea Green'</i>	3 gal	18" Min. Ht.	5	
18	Tautan Yew	<i>Taxus x media 'Tautanii'</i>	3 gal	18" Min. Ht.	3	
PERENNIALS & GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
29	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Kari Foerster'</i>	1 gal	Min. 12"-24"	0	
63	Daylily	<i>Hemerocallis x 'Chicago Apache'</i>	1 gal		0	
19	Patriot Hosta	<i>Hosta x 'Patriot'</i>	1 gal		0	
47	Autumn Red Flame Grass	<i>Miscanthus purpurascens 'Autumn Red'</i>	1 gal	Min. 12"-24"	0	
11	Northwind Switch Grass	<i>Panicum virgatum 'North Wind'</i>	1 gal	Min. 12"-24"	0	
14	Little Spire Russian Sage	<i>Perovskia atriplicifolia 'Little Spire' TM</i>	1 gal		0	
54	Sweet Black-eyed Susan	<i>Rudbeckia subtomentosa</i>	1 gal		0	
38	Autumn Joy Sedum	<i>Sedum x 'Autumn Joy'</i>	1 gal		0	
98	Prairie Dropseed	<i>Sporobolus heterolepis</i>	1 gal	Min. 12"-24"	0	



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date	Description
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS
Approved: KJY

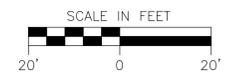
SHEET TITLE:
LANDSCAPE PLAN - NORTH

SHEET NUMBER:
L1.1

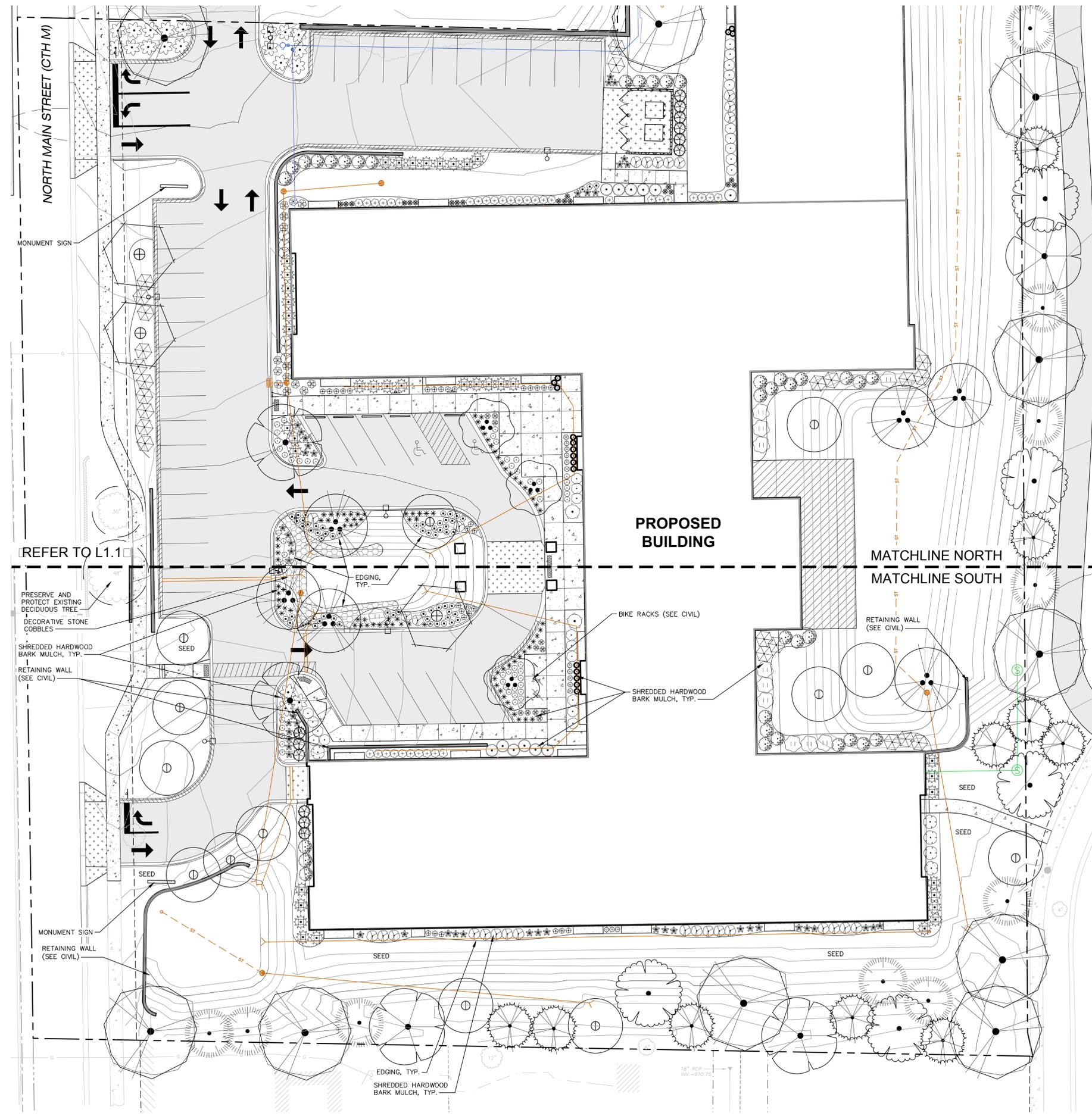
JSD PROJECT NO: 16-7603

File: L:\2016\167603\DWG\16-7603_LANDSCAPE.dwg Layout: L1.1 User: kyska Plot/ed: Feb 22, 2019 - 10:08am Xref's: 167603
 841 N Main

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



File: I:\2016\167603\DWG\16-7603_LANDSCAPE.dwg Layout: L1.2 User: kyska Plotted: Feb 22, 2019 - 10:07am Xref's: 167603 841 N Main



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ▨ ASPHALT PAVEMENT
- ▩ CONCRETE PAVEMENT
- ▧ HEAVY DUTY CONCRETE PAVEMENT
- ▤ STORMWATER MANAGEMENT AREA
- ▥ MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA/TRAFFIC SIGNS
- POLYETHYLENE EDGING
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED STORM
- ▧ 3-INCH DECORATIVE STONE COBBLES

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
⊙	6	Red Sunset Red Maple	<i>Acer rubrum 'Red Sunset'</i>	B & B	1.5" Cal	30
⊙	13	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	B & B	1.5" Cal	10
⊙	6	Heritage River Birch	<i>Betula nigra 'Heritage'</i>	B & B	1.5" Cal (Multi-Stem)	15
⊙	3	Eastern Redbud	<i>Cercis canadensis 'Columbus Strain'</i>	B & B	1.5" Cal	10
⊙	3	Winter King Hawthorn	<i>Crataegus viridis 'Winter King'</i>	B & B	1.5" Cal	15
⊙	7	Autumn Gold Maidenhair Tree	<i>Ginkgo biloba 'Autumn Gold' TM</i>	B & B	2" Cal	75
⊙	13	Swamp White Oak	<i>Quercus bicolor</i>	B & B	2" Cal	75
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
⊙	11	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	B & B	Min. 4' Ht.	20
⊙	13	Colorado Blue Spruce	<i>Picea pungens 'Glauca'</i>	B & B	Min. 4' Ht.	20
⊙	12	Holmstrup Cedar	<i>Thuja occidentalis 'Holmstrup'</i>	B & B	Min. 4' Ht.	12
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
⊙	11	Red Twig Dogwood	<i>Cornus sericea 'Bailey'</i>	3 gal	Min. 24" Ht.	3
⊙	12	Annabelle Hydrangea	<i>Hydrangea arborescens 'Annabelle'</i>	3 gal	Min. 24" Ht.	3
⊙	5	Little Quick Fire Hydrangea	<i>Hydrangea paniculata 'Little Quick Fire'</i>	3 gal	Min. 24" Ht.	3
⊙	14	Little Henry Virginia Sweetspire	<i>Itea virginica 'Sprich'</i>	3 gal	Min. 24" Ht.	3
⊙	23	Center Glow Ninebark	<i>Physocarpus opulifolius 'Center Glow'</i>	3 gal	Min. 24" Ht.	3
⊙	35	Tiny Wine Ninebark	<i>Physocarpus opulifolius 'SMPOTW'</i>	3 gal	Min. 24" Ht.	3
⊙	20	Gr-Low Fragrant Sumac	<i>Rhus aromatica 'Gr-Low'</i>	3 gal	18" Min. Ht.	3
⊙	35	Green Mound Alpine Currant	<i>Ribes alpinum 'Green Mound'</i>	3 gal	18" Min. Ht.	1
⊙	27	Glow Girl Birchleaf Spirea	<i>Spiraea betulifolia 'Tor Gold'</i>	3 gal	Min. 24" Ht.	3
⊙	2	Korean Spice Viburnum	<i>Viburnum carlesii</i>	3 gal	Min. 24" Ht.	3
⊙	36	Blue Muffin Arrowwood Viburnum	<i>Viburnum dentatum 'Blue Muffin'</i>	3 gal	Min. 24" Ht.	3
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
⊙	41	Sea Green Juniper	<i>Juniperus x pfitzeriana 'Sea Green'</i>	3 gal	18" Min. Ht.	5
⊙	10	Tauton Yew	<i>Taxus x media 'Tautonii'</i>	3 gal	18" Min. Ht.	3
PERENNIALS & GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
⊙	29	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 gal	Min. 12"-24"	0
⊙	63	Daylily	<i>Hemerocallis x 'Chicago Apache'</i>	1 gal		0
⊙	19	Patriot Hosta	<i>Hosta x 'Patriot'</i>	1 gal		0
⊙	47	Autumn Red Flame Grass	<i>Miscanthus purpurascens 'Autumn Red'</i>	1 gal	Min. 12"-24"	0
⊙	11	Northwind Switch Grass	<i>Panicum virgatum 'North Wind'</i>	1 gal	Min. 12"-24"	0
⊙	14	Little Spire Russian Sage	<i>Perovskia atriplicifolia 'Little Spire' TM</i>	1 gal		0
⊙	54	Sweet Black-eyed Susan	<i>Rudbeckia subtomentosa</i>	1 gal		0
⊙	30	Autumn Joy Sedum	<i>Sedum x 'Autumn Joy'</i>	1 gal		0
⊙	90	Prairie Dropseed	<i>Sporobolus heterolepis</i>	1 gal	Min. 12"-24"	0



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLAN MODIFICATIONS:

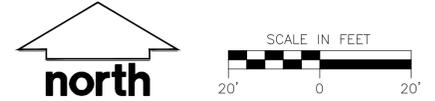
#	Date:	Description:
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS
Approved: KJY

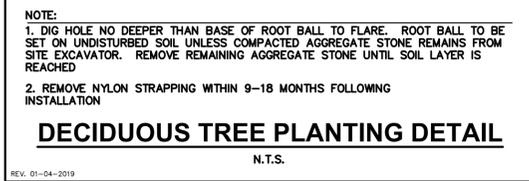
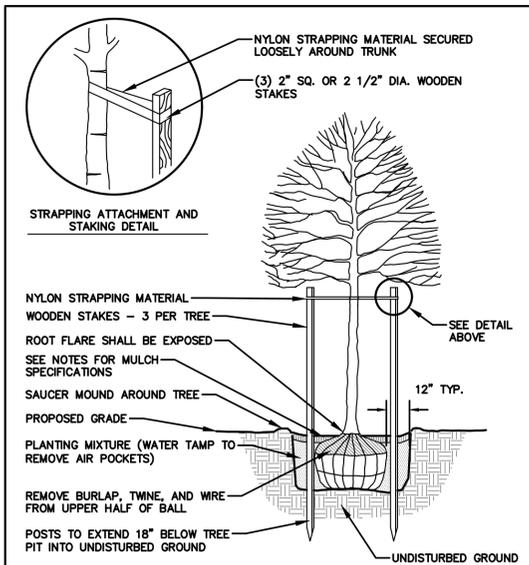
SHEET TITLE:
LANDSCAPE PLAN - SOUTH

SHEET NUMBER:
L1.2

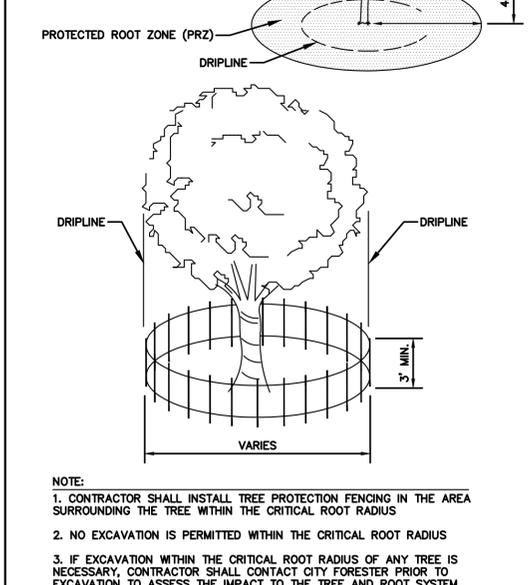
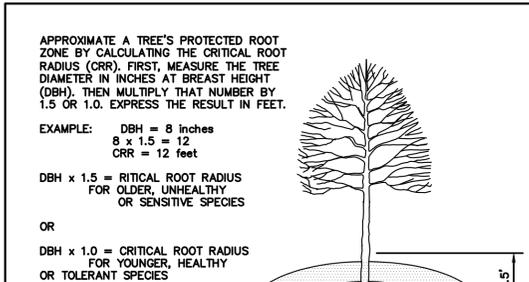
JSD PROJECT NO: 16-7603



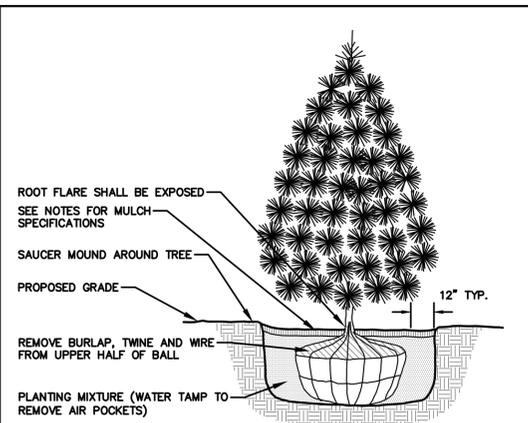
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



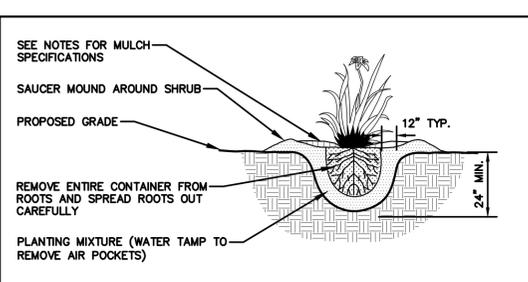
DECIDUOUS TREE PLANTING DETAIL
N.T.S.
REV. 01-04-2019



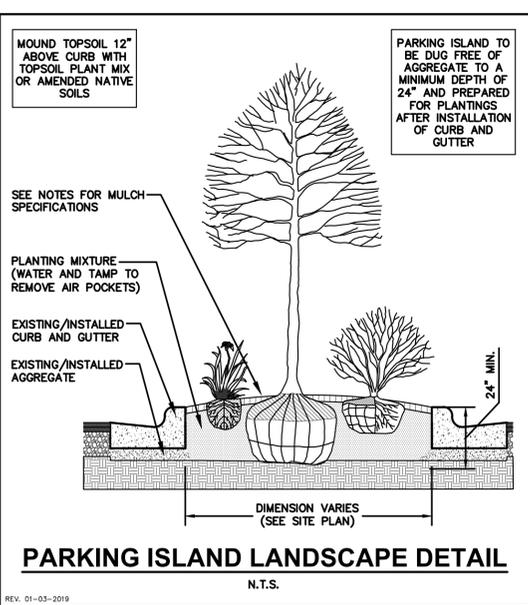
TREE PROTECTION DETAIL
N.T.S.
REV. 01-04-2019



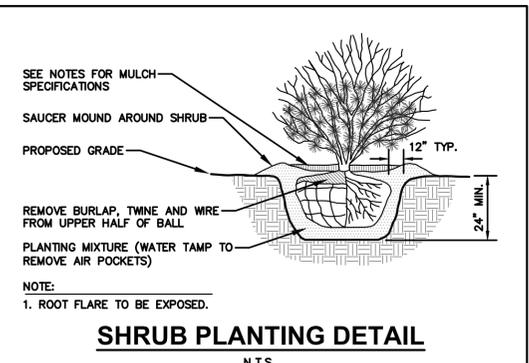
EVERGREEN TREE PLANTING DETAIL
N.T.S.
REV. 01-03-2019



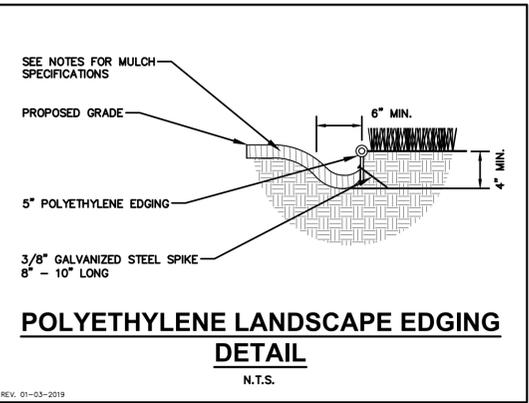
PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.
REV. 01-03-2019



PARKING ISLAND LANDSCAPE DETAIL
N.T.S.
REV. 01-03-2019



SHRUB PLANTING DETAIL
N.T.S.
REV. 01-03-2019



POLYETHYLENE LANDSCAPE EDGING DETAIL
N.T.S.
REV. 01-03-2019

- LANDSCAPE MATERIAL NOTES**
- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
 - MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
 - MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
 - MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
 - MATERIALS - DECORATIVE STONE COBBLES: ALL AREAS LABELED ON PLAN SHALL RECEIVE 3-INCH "MINI STONE COBBLES" SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. "MINI STONE COBBLES" TO BE SOURCED FROM MADISON BLOCK & STONE, 5813 N. HWY 51, MADISON, WI 53704. (608) 249-5633. SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. STONE COBBLE AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
 - MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWNS AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 4' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
 - MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

- SEEDING & POND VEGETATION NOTES**
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS "SEED," SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
 - MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
 - MATERIALS - PRAIRIE SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "SHORT PRAIRIE FOR DRY SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53984, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 - MATERIALS - DETENTION BASIN SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "DETENTION BASIN/BIO-SWALE" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53984, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 - MATERIALS - BIORETENTION BASIN PLUG PLANTINGS: PLUG PLANTINGS TO BE INSTALLED 1'-0" ON CENTER, MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WDRN PLUG PLANTING TECHNICAL STANDARDS FOR ROOTSTOCK AND INSTALLATION SPECIFICATIONS.
 - MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM): AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL "RAINWATER RENEWAL" NATIVE VEGETATIVE MAT - DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NVM GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION PROCEDURES.

- CONTRACTOR AND OWNER RESPONSIBILITY NOTES**
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
 - CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
 - MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 30 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
 - MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

POINT REQUIREMENT 1: BUILDING FOUNDATION

Zoning: Neighborhood Office
Calculation: 1,607 Linear Feet of Building Foundation
1,607 Linear Feet of Building Foundation / 100 Linear Feet = 16.07 Points per 100 L.F. - 723.15
Total Points Required: 724 Total Points
Total Points Provided: 741 Total Points
Code of Ordinances: Screening of Utilities, HVAC, no Climax or Medium Trees
To be located a maximum of 10' from building drip line

Species: Scientific Name	Species: Common Name	QTY	POINTS	TOTAL POINTS
EVERGREEN TREES				
<i>Thuja occidentalis</i> 'Holstrup'	Holmstrup Cedar	6	12	72
DECIDUOUS SHRUBS				
<i>Cornus sericea</i> 'Ballew'	Red Twig Dogwood	10	3	30
<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	13	3	39
<i>Hydrangea paniculata</i> 'Little Quick Fire'	Little Quick Fire Hydrangea	5	3	15
<i>Itea virginica</i> 'Sprich'	Little Henry Virginia Sweetspire	14	3	42
<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Ninebark	11	3	33
<i>Physocarpus opulifolius</i> 'SAPOTIV'	Tiny Wine Ninebark	26	3	78
<i>Rhus glabra</i> 'Green Mound'	Green Mound Rhus Currant	35	3	105
<i>Spiraea betulifolia</i> 'Tor Gold'	Glow Girl Birchleaf Spirea	25	3	75
<i>Viburnum carlesii</i>	Korean Spice Viburnum	2	3	6
<i>Viburnum dentatum</i> 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	23	3	69
EVERGREEN SHRUBS				
<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	30	5	150
<i>Taxus media</i> 'Tutuwhiti'	Tsautou New	10	3	30
PERENNIALS & GRASSES				
<i>Colamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	24	0	0
<i>Hemerocallis x 'Chicago Apache'</i>	Daylily	22	0	0
<i>Miscanthus purpurascens</i> 'Autumn Red'	Autumn Red Flame Grass	23	0	0
<i>Perovskia atriplicifolia</i> 'Little Spire™ TM'	Little Spire Russian Sage	14	0	0
<i>Rudbeckia subtomentosa</i>	Sweet Black-eyed Susan	5	0	0
<i>Sedum x 'Autumn Joy'</i>	Autumn Joy Sedum	21	0	0
Total Points =				741

POINT REQUIREMENT 2: STREET FRONTAGE

Zoning: Neighborhood Office
Calculation: 375 Linear Feet of Street Frontage
45 Landscape Points per 100 L.F.
(375 Feet of Street Frontage / 100 Linear Feet) x 45 Points per 100 L.F. = 168.75
Total Points Required: 169 Total Points
Total Points Provided: 208 Total Points
Code of Ordinances: Min. 50% of Points to be Climax Trees or Tall Trees, Min. 30% of Points to be Small Trees
To be located a maximum of 10' from R-O-W; no shrubs used to meet requirement

Species: Scientific Name	Species: Common Name	QTY	POINTS	TOTAL POINTS
DECIDUOUS TREES				
<i>Aronia arbuscula</i> x <i>grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3	10	30
<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	2	10	20
<i>Quercus bicolor</i>	Swamp White Oak	2	75	150
Total Points =				200

POINT REQUIREMENT 3: PAVED AREA

Zoning: Neighborhood Office
Calculation 1: 28,672 Sq. Ft. of Pavement, 108 Parking Stalls
95 Landscape Points per 20 Parking Stalls
95 Points per 100,000 Sq. Ft. of Paved Area
Calculation 2 Formula: 108 Parking Stalls / 20 x 95 pts = 513 pts.
Total Points Required: 513 Total Points
Total Points Provided: 540 Total Points
Code of Ordinances: Min. 30% of Points to be Climax Trees, Min. 40% of Points to be Shrubs

Species: Scientific Name	Species: Common Name	QTY	POINTS	TOTAL POINTS
DECIDUOUS TREES				
<i>Aronia arbuscula</i> x <i>grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	10	40
<i>Betula nigra</i> 'Heritage'	Heritage River Birch	3	30	90
<i>Cercis canadensis</i> 'Columbus Strain'	Eastern Redbud	3	10	30
<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	1	10	10
<i>Ginkgo biloba</i> 'Autumn Gold™ TM'	Autumn Gold Maidenhair Tree	2	75	150
DECIDUOUS SHRUBS				
<i>Cornus sericea</i> 'Ballew'	Red Twig Dogwood	1	3	3
<i>Physocarpus opulifolius</i> 'Center Glow'	Center Glow Ninebark	12	5	60
<i>Physocarpus opulifolius</i> 'SAPOTIV'	Tiny Wine Ninebark	9	3	27
<i>Rhus glabra</i> 'Green Mound'	Green Mound Rhus Currant	10	3	30
<i>Spiraea betulifolia</i> 'Tor Gold'	Glow Girl Birchleaf Spirea	3	3	9
<i>Viburnum dentatum</i> 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	13	3	39
EVERGREEN SHRUBS				
<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	11	5	55
PERENNIALS & GRASSES				
<i>Hemerocallis x 'Chicago Apache'</i>	Daylily	60	0	0
<i>Miscanthus purpurascens</i> 'Autumn Red'	Autumn Red Flame Grass	20	0	0
<i>Panicum virgatum</i> 'North Wind'	Northwind Switch Grass	11	0	0
<i>Rudbeckia subtomentosa</i>	Sweet Black-eyed Susan	49	0	0
<i>Sedum x 'Autumn Joy'</i>	Autumn Joy Sedum	9	0	0
<i>Sporobolus heterolepis</i>	Prairie Dropseed	90	0	0
Total Points =				540

POINT REQUIREMENT 4: DEVELOPED LOTS (BUILDING SQ. FT.)

Zoning: Neighborhood Office
Calculation: 124,286 Sq. Ft. of Gross Floor Area
20 Landscape Points per 1,000 Sq. Ft. of Gross Floor Area
Calculation Formula: (124,286 Sq. Ft. of Gross Floor Area / 1,000 Sq. Ft.) x 20 Points = 2,485.72
Total Points Required: 2,484 Total Points
Total Points Provided: 2,487 Total Points
Code of Ordinances: Located away from and not contributing to Building Foundation Plantings, Street Frontages, Paved Areas points requirements

Species: Scientific Name	Species: Common Name	QTY	POINTS	TOTAL POINTS
DECIDUOUS TREES				
<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	6	30	180
<i>Aronia arbuscula</i> x <i>grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6	10	60
<i>Betula nigra</i> 'Heritage'	Heritage River Birch	3	30	90
<i>Ginkgo biloba</i> 'Autumn Gold™ TM'	Autumn Gold Maidenhair Tree	5	75	375
<i>Quercus bicolor</i>	Swamp White Oak	10	75	750
EVERGREEN TREES				
<i>Pinus glauca</i> 'Densa'	Black Hills Spruce	11	40	440
<i>Pinus pungens</i> 'Glauca'	Colorado Blue Spruce	13	40	520
<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Cedar	6	12	72
Total Points =				2,487

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
FORWARD DEVELOPMENT GROUP

CLIENT ADDRESS:
**161 HORIZON DRIVE, STE 101A
VERONA, WI 53593**

PROJECT:
OAKMONT SENIOR LIVING

PROJECT LOCATION:
**CITY OF VERONA
DANE COUNTY, WI**

PLANNING MODIFICATIONS:

#	Date	Description
1	09.07.17	SITE PLAN SUBMITTAL
2	02.22.19	PIP SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**LANDSCAPE DETAILS,
NOTES AND
SPECIFICATIONS**

SHEET NUMBER:
L2.0

JSD PROJECT NO: 16-7603

PRELIMINARY
NOT FOR CONSTRUCTION

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

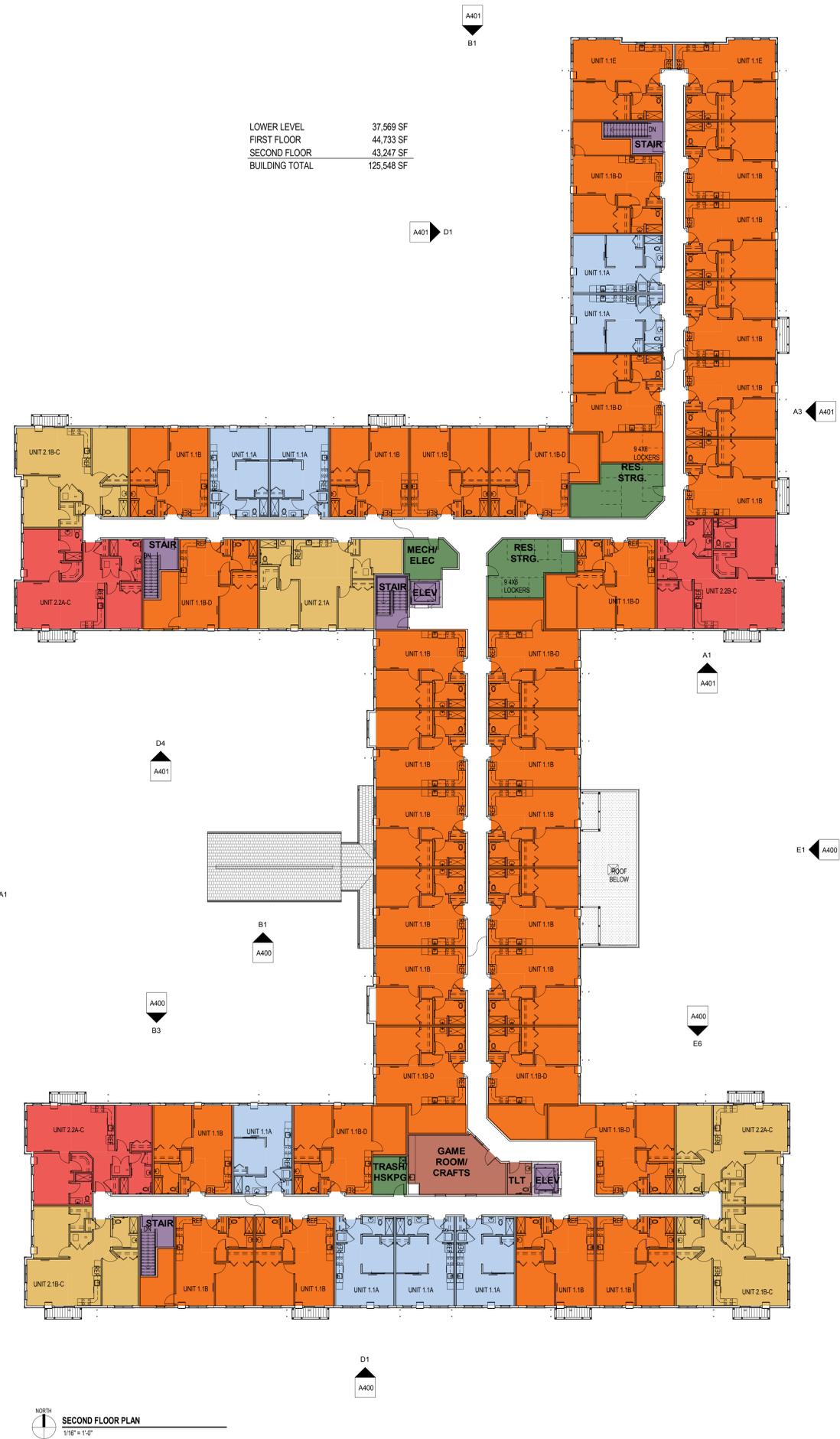
DIGGERS HOTLINE
Toll Free (800) 242-8511

File: I:\2016\167603\DWG\16-7603_LANDSCAPE.dwg Layout: L2.0 User: lysasko Plotted: Feb 22, 2019 - 10:06am Xref's: 167603 847, N. Main



- COMMONS
- PARKING
- SERVICES
- STAIR/ ELEV
- UNIT - 1BED/1BATH
- UNIT - 2BED/1BATH
- UNIT - 2BED/2BATH
- UNIT - STUDIO

LOWER LEVEL	37,569 SF
FIRST FLOOR	44,733 SF
SECOND FLOOR	43,247 SF
BUILDING TOTAL	125,548 SF



NOT FOR CONSTRUCTION
© 2019 Plunkett Ragsich Architects, LLP

Date: 02-22-2019
Job No: 180092-01
Sheet No:

A200b

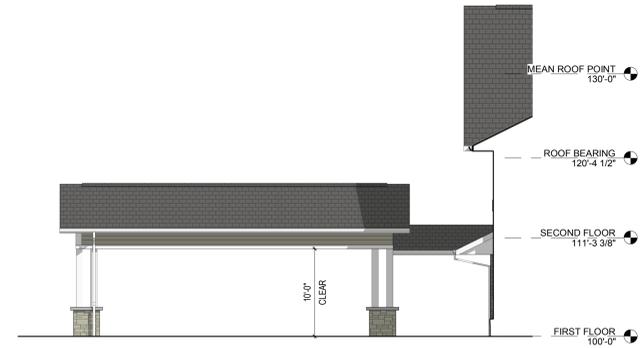
OVERALL FIRST AND SECOND FLOOR PLAN

Forward Development Group, LLC
Oakmont Senior Living
8411 N. Main St. Verona, WI 53593

pr PLUNKETT RAGSICH ARCHITECTS, LLP
intelligent designs. inspired results. | www.prarch.com
209 south water street milwaukee, wisconsin 53204
414.359.3660
2310 crossroads drive suite 2000 madison, wisconsin 53718
608.249.9900
210 north orange avenue suite 202 sarasota, florida 34236
941.348.3616



A1 WEST ENTRY
1/8" = 1'-0"



B1 CANOPY - SIDE
1/8" = 1'-0"



B3 SOUTH - ENTRY
1/8" = 1'-0"



D1 SOUTH
1/8" = 1'-0"



E1 EAST - 1
1/8" = 1'-0"



E6 EAST - SOUTH
1/8" = 1'-0"

2/19/2019 11:12:25 AM DRAWN BY: KTB 100% Schematic Design

209 south water street milwaukee, wisconsin 53204
608.269.9500
2311 crossroads drive suite 2000 madison, wisconsin 53718
210 north orange avenue suite 202 sarasota, florida 34236
414.339.3660
608.269.9500
941.348.3616
www.praich.com

PLUNKETT RAYSICH
ARCHITECTS, LLP
intelligent designs. inspired results.

praich
PLUNKETT RAYSICH
ARCHITECTS, LLP

Forward Development Group, LLC
Oakmont Senior Living
8411 N. Main St. Verona, WI 53593

NOT FOR CONSTRUCTION
© 2019 Plunkett Raysich Architects, LLP
Date: 02-22-2019
Job No: 180082-01
Sheet No:
EXTERIOR ELEVATIONS
A400



A1 EAST - NORTH
1/8" = 1'-0"



A3 EAST - 2
1/8" = 1'-0"



B1 NORTH
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS

	ASPHALT SHINGLES
	STONE VENEER
	SIDING TRIM (ARCTIC WHITE)
	LAP SIDING (MONTERSEY TAUPE)
	LAP SIDING (TIMBER BARK)
	LAP SIDING (COUNTRYLANE RED)
	SHAKE SIDING (MONTERSEY TAUPE)



D1 WEST - 2
1/8" = 1'-0"



D4 NORTH - ENTRY
1/8" = 1'-0"



3 Exterior - Southeast Perspective



1 Exterior - West Perspective



2 Exterior - Southwest Perspective



5 Exterior - Northwest Perspective - aerial

2/19/2019 11:11:28 AM DRAWN BY: KTB 100% Schematic Design

NOT FOR CONSTRUCTION
© 2019 Plunkett Ryscich Architects, LLP

Date: 02-22-2019
Job No: 180082-01
Sheet No:

A010

Forward Development Group, LLC
Oakmont Senior Living
841 N. Main St. Verona, WI 53593

EXTERIOR PERSPECTIVES

prai
PLUNKETT RYSICHI
ARCHITECTS, LLP
intelligent designs. inspired results. | www.praich.com
209 south water street milwaukee, wisconsin 53204 414.359.3660
2310 crossroads drive suite 2000 madison, wisconsin 53718 608.269.9900
210 north orange avenue suite 202 sarasota, florida 34236 941.368.3616