



October 23, 2019

Adam Sayre  
City of Verona  
111 Lincoln Street  
Verona, WI 53593

Re: Sugar Creek Commons, Buildings B and C, Verona, WI  
PIP Extension Request Submittal

Dear Adam:

As a follow up to previous correspondence related to the request for an extension for implementing the Precise Implementation Plan (PIP) for Buildings B and C of the Sugar Creek Commons redevelopment project, Forward Development Group (FDG) respectfully requests that the City of Verona approve of a twelve-month extension of the timeframe.

Enclosed are the required copies of the project plans previously submitted and approved for the PIP. Please note that we are not proposing any changes in regard to any approved site or building improvements. The general contractor for the on-site and building improvements has entered into a construction contract as of this past March and the debt financing has been secured. We are also working on the development of the updated budget for the public infrastructure and environmental remediation aspects of the Project, per recent communications related to the Tax Increment Financing (TIF) component of the project's capital structure.

As a result of the ongoing negotiations with the City regarding the TIF and Development Agreement for the project it is not feasible that groundbreaking can occur prior to the November 12, 2019 deadline for PIP implementation. Once a mutually acceptable TIF and Developer Agreement is finalized, FDG will be able to authorize the general contractor to commence construction. FDG respectfully requests an extension of the deadline for implementing the PIP until such time the TIF and Developer Agreement is executed.

We appreciate your time and consideration and look forward to commencing construction on this improvement to the community.

Sincerely,

FORWARD DEVELOPMENT GROUP

A handwritten signature in blue ink, appearing to read "Ron Henshue", is written over a horizontal line.

Ron Henshue  
CFO/Vice President of Operations

Enclosure(s) Submittal payment in the amount of \$300.  
Application.  
Six (6) copies of the previously approved PIP plans.  
Project Narrative (PUD-PIP, Buildings B & C LOI)

# Letter of Intent

[www.jsdinc.com](http://www.jsdinc.com)

To: Adam Sayre, City of Verona; Katherine Holt, City of Verona  
From: Kevin Yeska, JSD Professional Services, Inc.  
Re: Sugar Creek Commons PUD-PIP – Buildings B & C  
JSD Project #: 16-7365  
Date: October 4, 2018 (**Updated October 24, 2019**)  
cc: Ron Henshue, FDG; Susan Burgard, FDG; Fred DeVillers, FDG; Dave Jenkins, JSD;; Rachel Holloway, JSD; Tracy Brown, JSD; Doug Hursh, Potter Lawson; David Dodge, Potter Lawson;

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On behalf of Forward Development Group, LLC (FDG), JSD Professional Services, Inc. (JSD) is requesting consideration and approval of the Planned Unit Development-Precise Implementation Plan (PUD-PIP) for **Sugar Creek Commons - Buildings B & C**. The target construction date for Building C is April 1, 2019 and the target construction date for Building B is June 1, 2019. The Hotel and Convention Center is tentatively scheduled to start construction around August 1, 2019; final plans for which will be submitted for PIP approval in the coming months. Buildings D-E-F will be constructed at a latter phase and, again, final plans to be submitted for PIP approval in the coming months. The Planned Unit Development-Precise Implementation Plan (PUD-PIP) approval is the last step in the entitlement process.

**10/24/19 Update: Construction of the Project has not yet commenced as a result of ongoing negotiations with the City regarding the TIF and Development Agreement for the Project. Accordingly, FDG is seeking a 12-month extension of the deadline for PIP implementation. The target construction date for Building C is January 6, 2020 and the target construction date for Building B is approximately one (1) month later, depending on the actual extent of the soil contamination. The Hotel and Events Center is tentatively scheduled to start construction in the first quarter of 2020, depending on financing. Buildings D-E-F will be constructed at a latter phase, depending on the lease-up of buildings B and C.**

## Project Site Location

The project site, located at the southwest corner of intersection of West Verona Avenue and Legion Street, just east of the St. Vincent de Paul Thrift Store, is comprised of 9.2 acres. Today, the project site is home to a mix of multi-family residential and commercial buildings.

## Project Background

At the September 4, 2018, meeting, the Plan Commission recommended approval of an amendment to a Planned Unit Development General Development Plan for Sugar Creek Commons. Subsequently, at the September 10, 2018, meeting, the Common Council approved Resolution No. R-18-045 conditionally approving a General Development Plan for a mixed-use project with up to 284 residential units, 110 hotel units, and approximately 26,000 SF of commercial space; the outstanding condition being the applicant shall provide one (1) underground parking space per unit.

A four lot CSM has been submitted and conditionally approved by Common Council in May, 2018 as Resolution No. R-18-017, which resulted in the creation of the following building lots:

- Lot 1: A 91,875 square-foot lot intended for future hotel and convention center use. The lot is comprised of the property addressed 509 West Verona Avenue and a portion of the St. Vincent de Paul site addressed as 513 West Verona Avenue.
- Lots 2: A 73,556 square-foot lot intended for mixed-use retail/commercial and residential.
- Lot 3: A 71,331 square-foot lot intended for mixed-use retail/commercial and residential.
- Lot 4: Combining the lots contiguous to Topp Avenue into one lot measuring 128,857 square-feet, which will be reconfigured in the future prior to development as Phase IV of the Sugar Creek Commons PUD project site.

A petition to vacate the existing Topp Avenue right-of-way is required, and will be submitted. in the coming months.

### Development Proposal

#### Building B PUD-PIP (Lot 2)

- Use: Mixed-use building with primarily commercial first floor and residential units above
- Maximum Height: Four-stories
- Parking:
  - Surface = 73 stalls
  - Underground = 68 stalls
- Building Footprint: 22,618 square-feet (including commercial and residential uses)
- 1st Floor Retail Area: 14,000 square-feet
- Gross Residential Floor Area: 76,472 square feet
- Total Building Gross Floor Area: 90,472square-feet
- Unit Count and Distribution:
  - Efficient Units = 7
  - One Bedroom / One Bath Units = 40
  - Two Bedroom / Two Bath Units = 17
  - Two Bedroom / Two Bath + Den = 4
  - **Total Units = 68**

### **Building C PUD-PIP (Lot 3)**

- Use: Mixed-use building with primarily commercial first floor and residential units above
- Maximum Height: Four-stories
- Parking:
  - Surface = 53 stalls
  - Underground = 77 stalls
- Building Footprint: 25,987 square-feet (including commercial and residential uses)
- 1st Floor Retail Area: 12,000 square-feet
- Gross Residential Floor Area: 91,948 square-feet
- Total Building Gross Floor Area: 103,948 square-feet
- Unit Count and Distribution:
  - Efficient Units = 7
  - One Bedroom / One Bath Units = 23
  - Two Bedroom / Two Bath Units = 41
  - Two Bedroom / Two Bath + Den = 4
  - **Total Units = 75**

### **Site Access, Circulation, and Parking**

Lots 2 and 3 at Sugar Creek Commons will be served by three access points; two from West Verona Avenue on the north and one from Legion Street on the east. Each access point will allow for full traffic movements. Internal vehicular circulation will be provided by private drives and surface parking areas.

Pedestrian circulation is provided by a network of sidewalks providing internal site circulation and direct connections to West Verona Avenue and Legion Street to encourage and facilitate walkability not only within the project site, but also to adjacent land uses. In addition, to promote multi-modal transportation opportunities, twenty-four (24) bicycle parking stalls are dispersed throughout the project site and strategically proposed adjacent to retail and residential entrances.

The surface parking area has been centrally located on the site behind the proposed buildings to provide a pedestrian friendly environment and is intended to serve as shared parking utilized by both the residential and commercial uses. Underground parking will be reserved for residential use only. As part of the PUD-GDP, shared parking was recognized as a viable option for adequately serving the parking demand generated on site as well as a more efficient use of land and given the difference in peak operating hours or demand hours between residential and commercial uses.. A reciprocal shared parking agreement is anticipated to administer all site uses.

### **Building Design**

The architectural character of Buildings B & C take on a modern, mixed-use style with flat roof configurations, emphasized corner tower elements, and at-grade building entries to create a building forward design. With the goal of creating a vibrant pedestrian atmosphere, pedestrian scale architectural elements, including colored awnings and steel channel clad canopies have been incorporated into the design.

As requested by Planning Commission members at the September 4 meeting, the fourth floor of Buildings B & C, adjacent to West Verona Avenue, have been stepped back to reduce the overall mass and scale of the building along the street.

The overall building material palette includes authentic, durable, human-scale materials and detailing, utilizing brick and stone as primary building materials with composite siding and trim serving as accents. The 4<sup>th</sup> floor is primarily comprised of vertical composite siding and composite trim in order to minimize the building's mass and scale. The 2<sup>nd</sup> and 3<sup>rd</sup> floors utilize a combination of two colors of brick, composite siding, and trim to create a consistent building rhythm and 'middle', while the 1<sup>st</sup> floor is primarily comprised of cast stone masonry units and details that create a base-course anchoring the building.

### **Public Improvements**

Location of the public improvements associated with the development of the project site have been included in the submittal materials. These improvements are anticipated to be designed, reviewed, and constructed by the City of Verona at a later date, including:

- The construction of sidewalks along all street frontages;
- Providing on-street parking on West Verona Avenue;
- Providing a designated bike lane along West Verona Avenue and Legion Street;
- Relocation of two fire hydrants to accommodate on-street parking;
- Re-routing sanitary sewer within the public right-of-way; and
- Replacement of storm inlets along West Verona Avenue to accommodate the Sugar Creek Commons development and existing Topp Avenue residents.

### **Stormwater Management, Utilities, and Environmental Remediation**

The stormwater management plan is designed to meet the City of Verona, Dane County, and Wisconsin Department of Natural Resources (WDNR) stormwater management standards. Proposed stormwater facilities include the construction of an underground stormwater detention and treatment facility.

Public storm sewer servicing the site will be designed central to the site through the main access drive connecting to both West Verona Avenue and Legion Street. There will be multiple private points of connection from this line: one to serve as a bypass for large storm events; one to serve as an outfall for the water quality treatment and detention chambers; one that provides a future outfall for the second phase stormwater quality treatment and detention facility; and one that catches runoff from the access drive at the northwest corner of the site prior to West Verona Avenue.

The existing sanitary sewer service will be re-routed within the site to connect to both Legion Street and West Verona Avenue. There will be up to two points of connection to serve future Buildings D-E-F; one from Legion Street and one from an existing run that is internal to the site from West Verona Avenue along the west side of Building B. Building B and Building C will be served from the public sanitary sewer main that is being proposed with the anticipated West Verona Avenue improvements.

Water service will be accessed from Legion Street for Buildings D-E-F, and from West Verona Avenue for Building B and Building C. An internal water service line will also be provided to accommodate two internal fire hydrants.

The property has been evaluated for petroleum based residual oil contamination. Contamination was found in several locations on the project site. Contamination remediation will occur prior to development commencing. A materials management plan is being coordinated with the Wisconsin Department of Natural Resources with conditions of approval to be met prior to construction.

# WEST VERONA AVENUE REDEVELOPMENT PHASE I

## CITY OF VERONA, WISCONSIN

### DRAWING INDEX

C0.0	TITLE SHEET
SHEET 1 OF 5	EXISTING CONDITIONS SURVEY
SHEET 2 OF 5	EXISTING CONDITIONS SURVEY
SHEET 3 OF 5	EXISTING CONDITIONS SURVEY
SHEET 4 OF 5	EXISTING CONDITIONS SURVEY
SHEET 5 OF 5	EXISTING CONDITIONS SURVEY
C1.0	DEMO PLAN - PHASE I - NOTES AND LEGEND
C1.1	DEMO PLAN - PHASE I
C2.0	SITE PLAN - OVERALL
C2.1	SITE PLAN - BUILDING B
C2.2	SITE PLAN - BUILDING C
C3.0	GRADING & EROSION CONTROL PLAN
C3.1	DETAILED GRADING PLAN - WEST
C3.2	DETAILED GRADING PLAN - EAST
C4.0	OVERALL UTILITY PLAN
C5.0	DETAILS
C5.1	DETAILS
C5.2	DETAILS
C6.0	PLAN & PROFILE STORM SEWER STA: 199+75 TO 205+25
C6.1	PLAN & PROFILE STORM SEWER STA: 204+50 TO 210+00
L1.0	LANDSCAPE PLAN - OVERALL
L1.1	LANDSCAPE PLAN - BUILDING B
L1.2	LANDSCAPE PLAN - BUILDING C
L2.0	LANDSCAPE DETAILS & NOTES
L2.1	LANDSCAPE POINTS REQUIREMENTS - BUILDING B & C



**PROJECT AREA**  
NOT TO SCALE



### PROJECT INFORMATION

**OWNER**  
FORWARD DEVELOPMENT GROUP, LLC.  
CONTACT: RON HENSHUE  
CONTACT: FRED DEVILLERS  
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P: 608.848.9050  
rjh@forwarddevgroup.com  
fad@forwarddevgroup.com

**CIVIL CONSULTANT**  
JSD PROFESSIONAL SERVICES, INC.  
CONTACT: KEVIN YESKA  
161 HORIZON DR. SUITE 101  
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kevin.yeska@jsdinc.com

### MUNICIPAL CONTACTS

**CITY OF VERONA  
DEPARTMENT OF PUBLIC  
WORKS/ENGINEER**  
ATTN: THERAN JACOBSON, P.E.  
410 INVESTMENT COURT  
VERONA, WI 53593  
P: 608.845.6695  
D: 608.848.6801  
theran.jacobson@ci.verona.wi.us

**CITY OF VERONA  
DEPARTMENT OF PLANNING  
& DEVELOPMENT**  
ATTN: ADAM SAYRE  
111 LINCOLN ST  
VERONA, WI 53593  
P: 608.848.9941  
adam.sayre@ci.verona.wi.us

**CITY OF VERONA  
STREET DEPARTMENT**  
ATTN: GREG DENNER  
410 INVESTMENT COURT  
VERONA, WI 53593  
P: 608.845.6695  
greg.denner@ci.verona.wi.us

**CITY ENGINEERING  
REVIEW CONSULTANT**  
ATTN: JEFF MONTPAS  
1350 DEMING WAY, SUITE 100  
MIDDLETON, WI 53562  
P: 608.828.8121  
C: 608.963.1072  
jeffrey.montpas@aecom.com

### UTILITY CONTACTS

**GAS**  
MADISON GAS AND ELECTRIC  
ATTN: STEVE BEVORDORF  
133 BLAIR STREET  
MADISON, WI 53703  
P: 608.252.1552  
C: 608.444.9620  
sbevordorf@mge.com

**CABLE TV**  
CHARTER COMMUNICATIONS  
ATTN: DAVE MOLDENHAVER  
1348 PLAINFIELD AVENUE  
P: 608.206.0494  
david.moldenhaver@charter.com

**COMMUNICATIONS**  
TDS TELECOM  
ATTN: JERRY MYERS  
8401 GREENWAY BOULEVARD  
MIDDLETON, WI 53562  
P: 608.664.4404  
jerry.myers@tdstelecom.com

**ELECTRIC**  
ALLIANT ENERGY  
ATTN: MICHAEL BROLIN  
4902 NORTH BILTMORE LANE  
MADISON, WI 53713  
P: 608.458.4871  
michaelbrolin@alliantenergy.com



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P. 608.848.5060

CLIENT:  
FORWARD DEVELOPMENT  
GROUP, LLC

CLIENT ADDRESS:  
161 HORIZON DR. SUITE 101A  
VERONA, WI 53593

PROJECT:  
WEST VERONA AVENUE  
PHASE I BUILDING B & C

PROJECT LOCATION:  
CITY OF VERONA  
DANE COUNTY, WI

#### PLAN MODIFICATIONS:

#	Date	Description
1	10.04.18	PIP SUBMITTAL - BUILD B & C
2		
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Design/Drawn:  
Approved:

SHEET TITLE:  
TITLE SHEET

SHEET NUMBER:  
C0.0



JSD PROJECT NO: 16-7365



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SERVICES PROVIDED TO:

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 VERONA, WI 53593

PROJECT:

**W. VERONA AVENUE & LEGION STREET**

PROJECT LOCATION:  
 CITY OF VERONA  
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7365

SCALE/SIGNATURE:



ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:  
 DRAWN: JK 12-08-16  
 APPROVED: SB 12-19-18

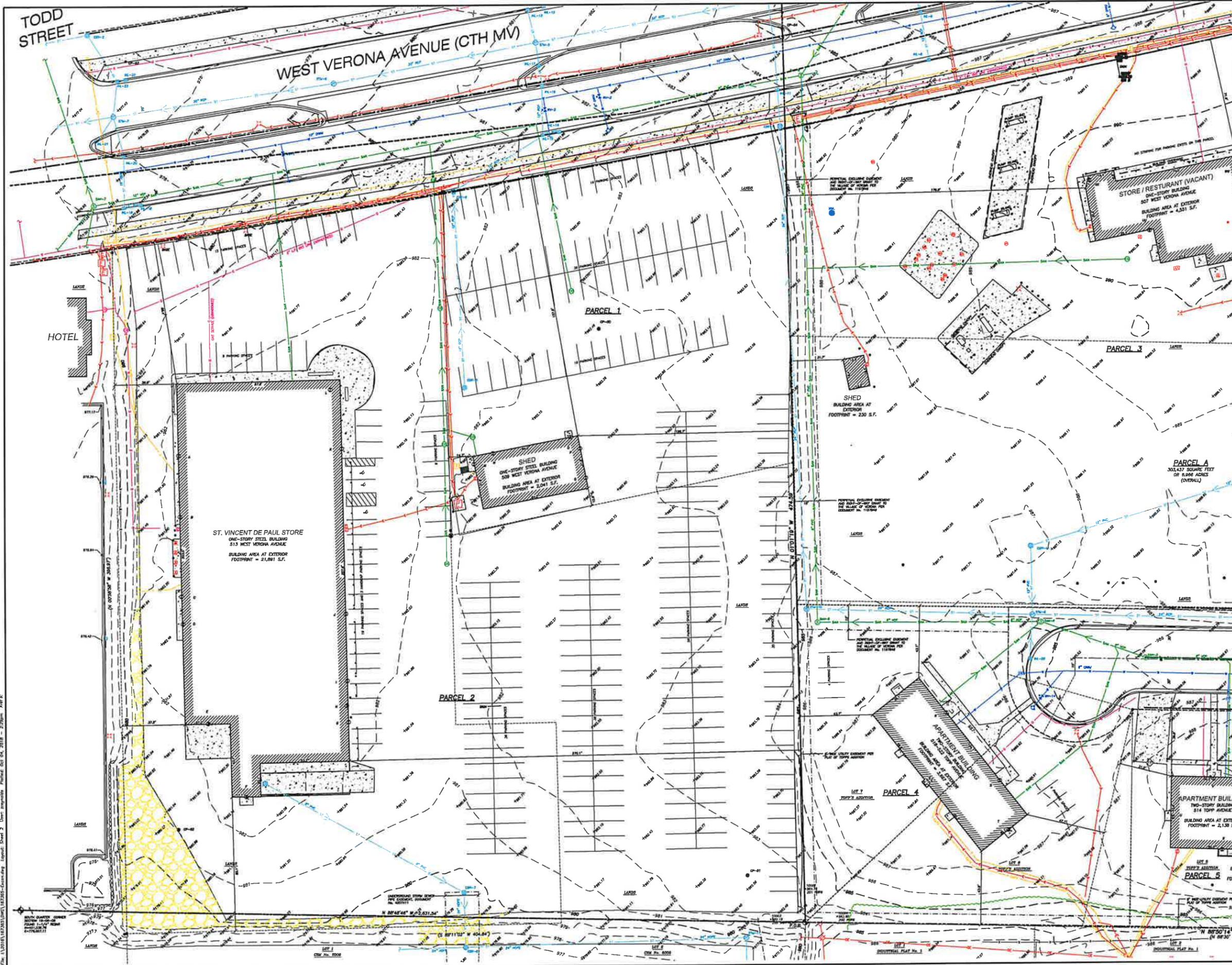
PLAN MODIFICATIONS:

NO.	DESCRIPTION	DATE

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SHEET TITLE:  
**EXISTING CONDITIONS SURVEY**

MAP NO.: E-397  
 SHEET NUMBER:  
**2 of 5**



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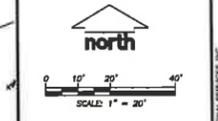
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 VERONA, WI 53593

PROJECT:  
**W. VERONA AVENUE & LEGION STREET**

PROJECT LOCATION:  
 CITY OF VERONA  
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7365

SEAL/SIGNATURE:



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DESIGN: [Signature] 11-09-18  
 DRAWING: [Signature] 11-09-18  
 APPROVED: [Signature] 11-09-18

PLAN MODIFICATIONS:

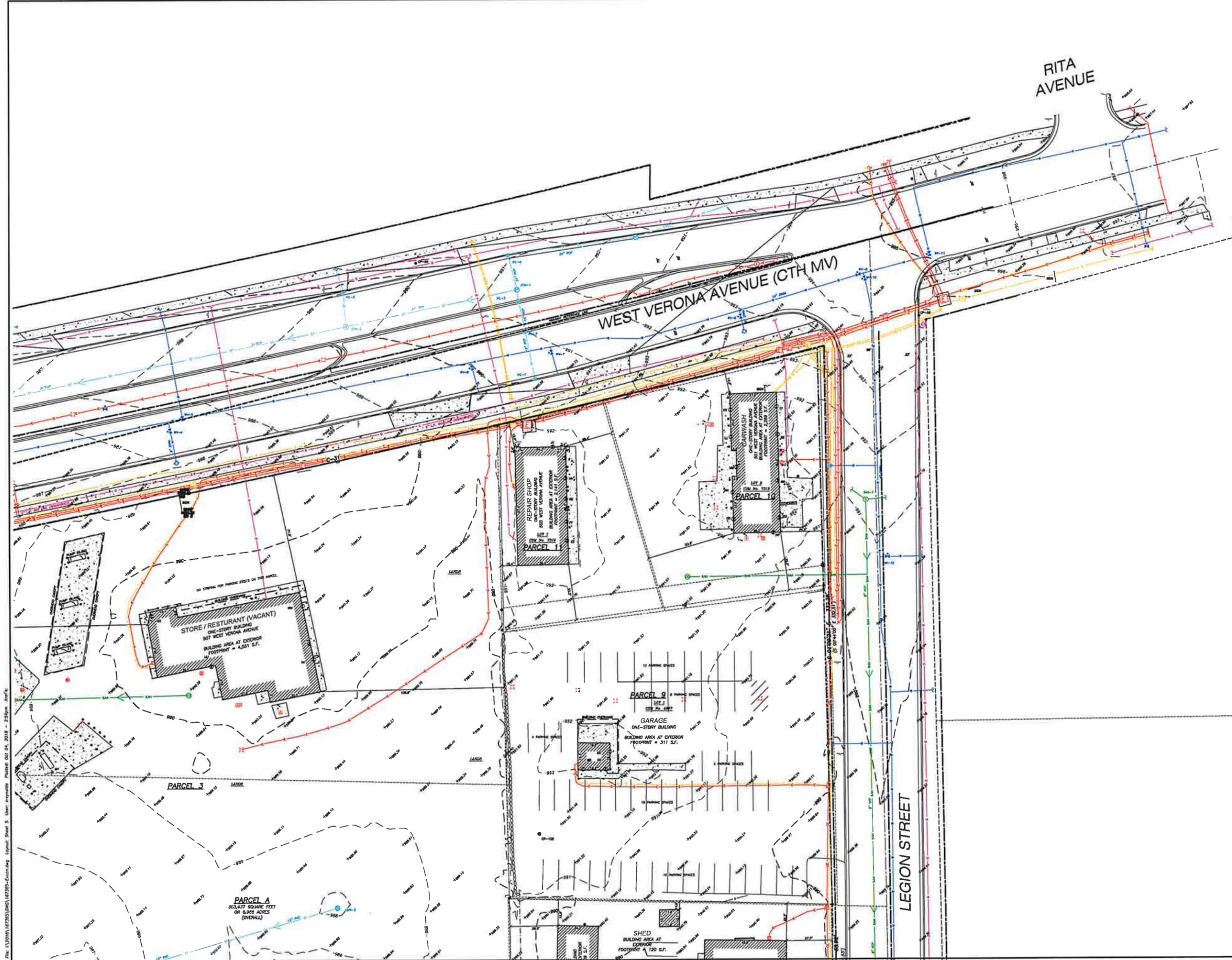
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SHEET TITLE:  
**EXISTING CONDITIONS SURVEY**

MAP NO: E-327  
 SHEET NUMBER:



File: (1/2018) 167365.DWG | 167365-Conditions Survey | Sheet 4 of 5 | User: jrodgers | Plot Date: 11/09/18 | 2:30pm | xref



File: I:\2014\167353\DWG\167353-Existing.dwg  
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 Plot Date: 12/18/14 10:58 AM  
 Plot Scale: 1" = 20'

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PROJECT:

**W. VERONA AVENUE & LEGION STREET**

PROJECT LOCATION:  
 CITY OF VERONA  
 DANE COUNTY, WI

JSD PROJECT NO.: 16-7365

SCALE: 1" = 20'

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:  
 DRAWING: 12-08-14  
 APPROVED: 12-18-14

PLAN MODIFICATIONS:	DATE	BY

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SHEET TITLE:  
**EXISTING CONDITIONS SURVEY**

MAP NO: E-327  
 SHEET NUMBER:  
**5 of 5**

**GENERAL NOTES:**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**LEGEND (DEMOLITION PLAN)**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- DEMOLITION AREA  
- REMOVAL OF ONSITE ASPHALT SURFACES AND SUBGRADE WITHIN HATCHED AREA
- DEMOLITION AREA  
- REMOVAL OF ONSITE CONCRETE SURFACES AND SUBGRADE WITHIN HATCHED AREA
- DEMOLITION AREA  
- REMOVAL OF ONSITE CURB SURFACES AND SUBGRADE
- XXXXXXXXXX- DEMOLITION AREA  
- REMOVAL OF ONSITE UTILITIES AND SUBGRADE
- DEMOLITION AREA  
- REMOVAL OF ONSITE BUILDINGS AND SUBGRADE WITHIN HATCHED AREA
- X TREE REMOVAL
- ⊗ SHRUB REMOVAL

**DEMOLITION NOTES**

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
4. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENDOACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
5. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
6. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
8. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
9. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS, ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - 10.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - 10.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - 10.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - 10.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  - 10.5. PERFORMING UTILITY LOCATE OBSERVATIONS (ULO) ON ALL UTILITY CROSSINGS. CONTRACTOR TO REPORT ANY PLAN DISCREPANCIES OR CONFLICTS PRIOR TO THE START OF UTILITY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES TO CONDUCT ULO'S.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
13. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
14. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
15. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
16. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
17. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND MUNICIPALITY SPECIFICATIONS.
18. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND MUNICIPALITY SPECIFICATIONS.
19. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
20. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
21. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
22. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
23. BOULDER RETAINING WALLS SHALL BE REMOVED AND BOULDERS SALVAGED FOR REUSE. EXCESS BOULDER SHALL BE REMOVED AT THE OWNER'S DIRECTION ONLY.
24. ALL LIGHT POLES AND BASES WITHIN LIMITS OF CONSTRUCTION TO BE REMOVED.

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CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
**161 HORIZON DR. SUITE 101A  
VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	10.04.16	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: JRK  
Approved: TJB

SHEET TITLE:  
**DEMO PLAN - PHASE 1  
NOTES AND LEGEND**

SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 16-7365

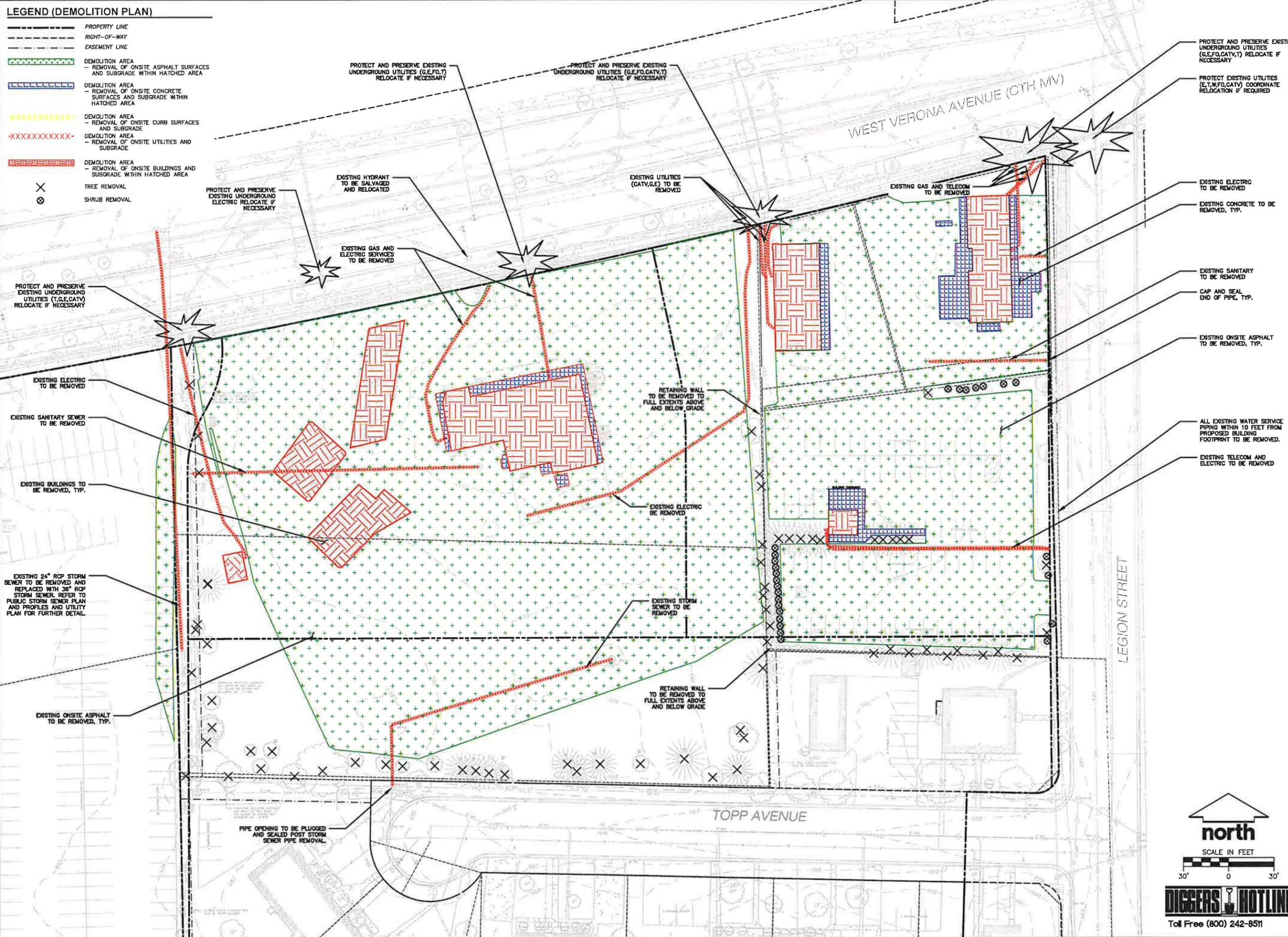


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**LEGEND (DEMOLITION PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- DEMOLITION AREA - REMOVAL OF ONSITE ASPHALT SURFACES AND SUBGRADE WITHIN HATCHED AREA
- DEMOLITION AREA - REMOVAL OF ONSITE CONCRETE SURFACES AND SUBGRADE WITHIN HATCHED AREA
- DEMOLITION AREA - REMOVAL OF ONSITE CURB SURFACES AND SUBGRADE
- DEMOLITION AREA - REMOVAL OF ONSITE UTILITIES AND SUBGRADE
- DEMOLITION AREA - REMOVAL OF ONSITE BUILDINGS AND SUBGRADE WITHIN HATCHED AREA
- ⊗ TREE REMOVAL
- ⊗ SHRUB REMOVAL

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Design/Drawn: JRK  
Approved: TJB

SHEET TITLE:  
**DEMO PLAN - PHASE 1**

SHEET NUMBER:  
**C1.1**

JSD PROJECT NO: 16-7365



**LEGEND (SITE PLAN)**

	PROPERTY LINE		CONCRETE PAVEMENT
	RIGHT-OF-WAY		HEAVY DUTY CONCRETE PAVEMENT
	EASEMENT LINE		RETAINING WALL (REFER TO PLAN SHEET/DETAIL)
	BUILDING OUTLINE		LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	EDGE OF PAVEMENT		ADA PARKING SIGNS
	STANDARD CURB AND GUTTER		
	REJECT CURB AND GUTTER		
	ASPHALT PAVEMENT		
	HEAVY DUTY ASPHALT PAVEMENT		

**GENERAL NOTES:**

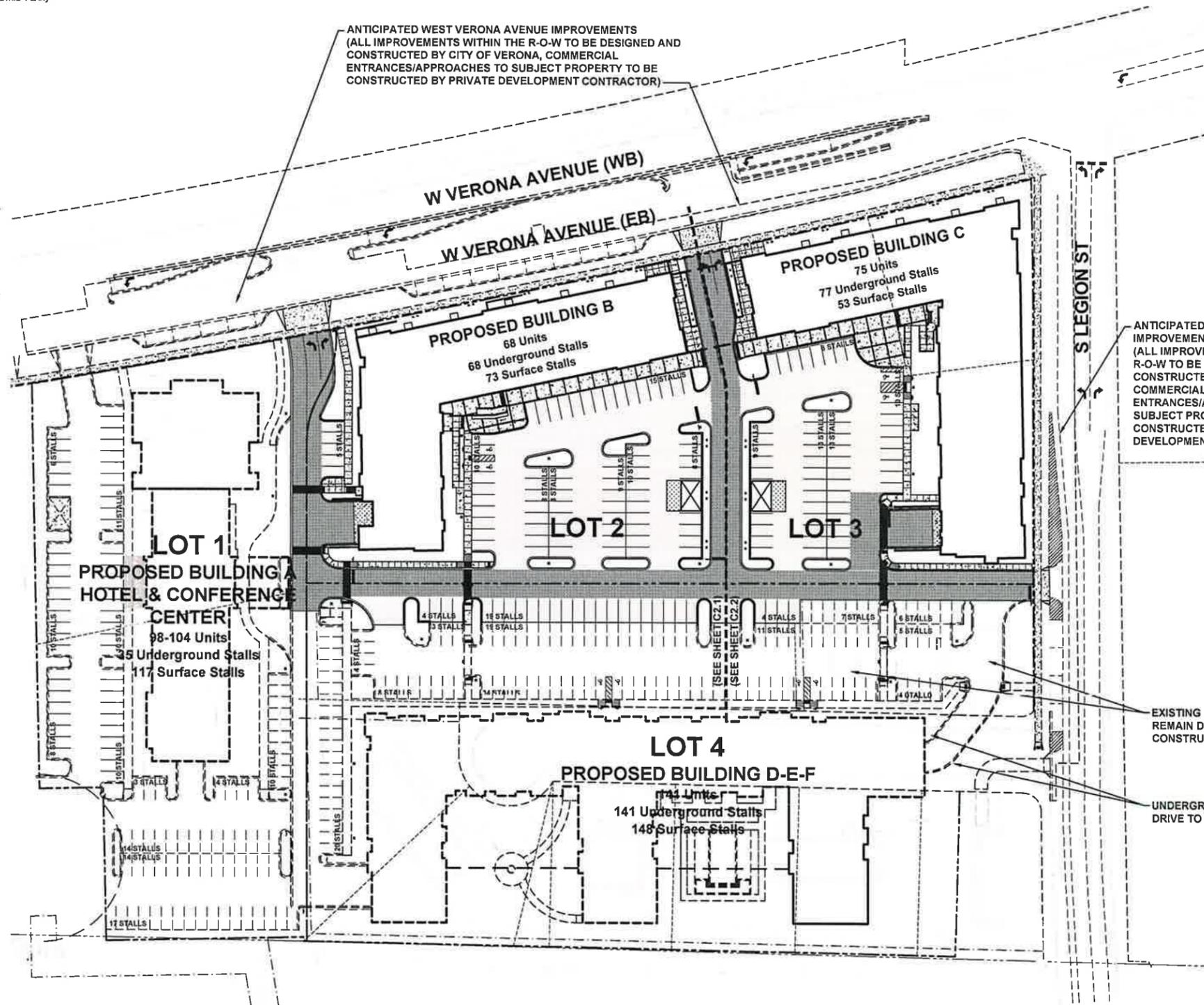
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND CONSTRUCTION LIMITS.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**SITE PLAN NOTES**

- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGE OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL RADII TO FACE OF CURB AND/OR EDGE OF CONCRETE UNLESS OTHERWISE NOTED.
- ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF VERONA.
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
- MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
- ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

ANTICIPATED WEST VERONA AVENUE IMPROVEMENTS  
(ALL IMPROVEMENTS WITHIN THE R-O-W TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA, COMMERCIAL ENTRANCES/APPROACHES TO SUBJECT PROPERTY TO BE CONSTRUCTED BY PRIVATE DEVELOPMENT CONTRACTOR)

ANTICIPATED LEGION STREET IMPROVEMENTS  
(ALL IMPROVEMENTS WITHIN THE R-O-W TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA, COMMERCIAL ENTRANCES/APPROACHES TO SUBJECT PROPERTY TO BE CONSTRUCTED BY PRIVATE DEVELOPMENT CONTRACTOR)



SITE INFORMATION BLOCK	
Number of Building Stories (above grade)	4
Number of Underground Stories	1
Building Square Footage	
Building B	22,618 SF
Building C	25,987 SF
Gross Floor Area (excluding underground footprint)	
Building B	90,472 SF
Building C	103,848 SF
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	192,805 S.F.
Existing Pervious Surface Area	108,910 S.F.
LOT 2 Proposed Impervious Surface Area	
LOT 2 Proposed Pervious Surface Area	8,325 S.F.
LOT 2 Impervious Surface Area Ratio	0.86
LOT 3 Proposed Impervious Surface Area	
LOT 3 Proposed Pervious Surface Area	10,781 S.F.
LOT 3 Impervious Surface Area Ratio	0.85
LOT 4 Proposed Impervious Surface Area (Following Top Avenue Vocation)	
LOT 4 Proposed Pervious Surface Area	45,013 S.F.
LOT 4 Impervious Surface Area Ratio	0.71
OVERALL IMPERVIOUS SURFACE RATIO	78.5%



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CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
161 HORIZON DR. SUITE 101A  
VERONA, WI 53593

PROJECT:  
**WEST VERONA AVENUE PHASE I BUILDING B & C**

PROJECT LOCATION:  
CITY OF VERONA  
DANE COUNTY, WI

PLAN MODIFICATIONS:		
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Design/Drawn: ABK  
Approved: KJ/TB

SHEET TITLE:  
**SITE PLAN - OVERALL**

SHEET NUMBER:  
**C2.0**

JSD PROJECT NO: 16-7365



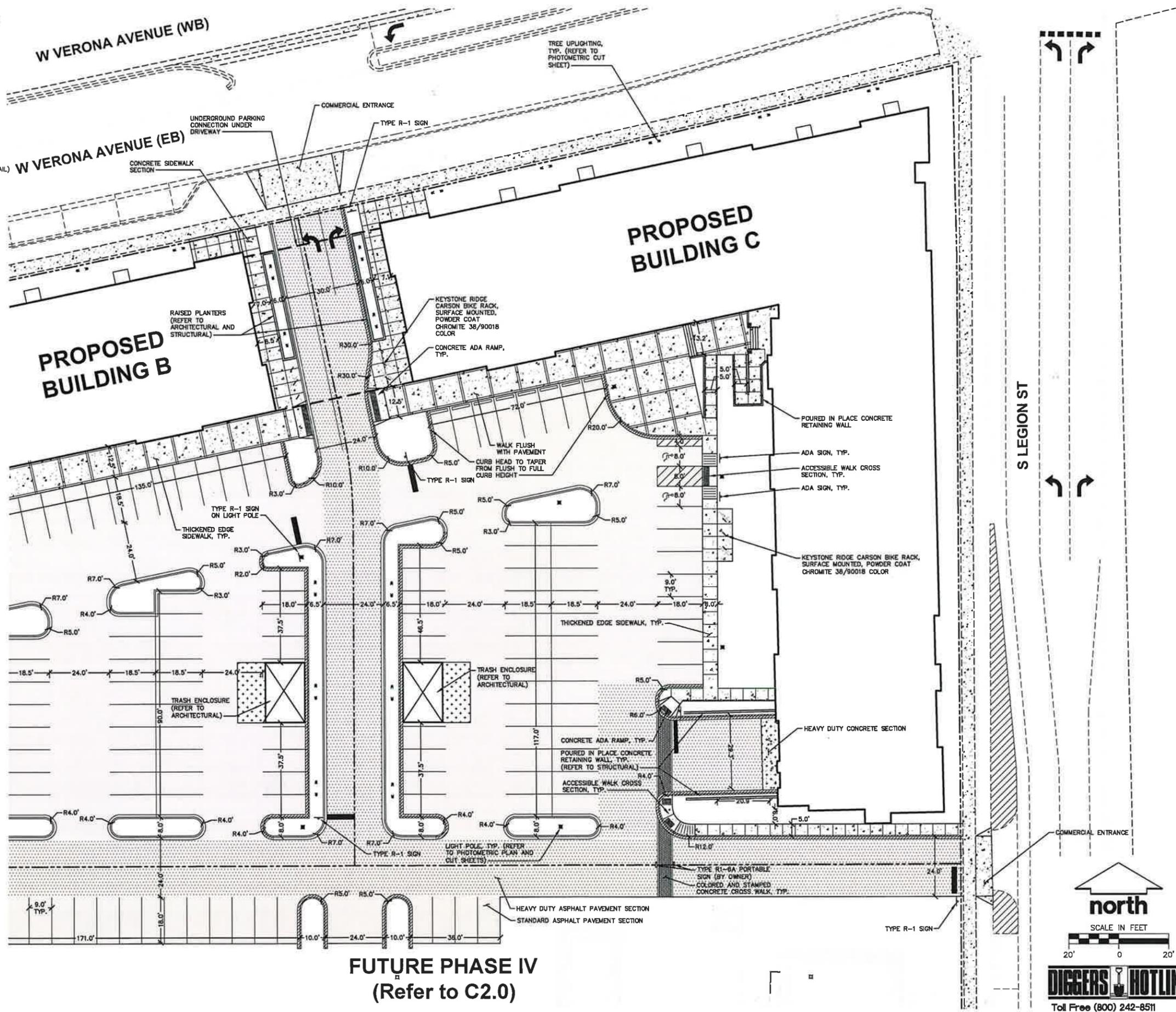
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**LEGEND (SITE PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- ▭ EDGE OF PAVEMENT
- ▭ STANDARD CURB AND GUTTER
- ▭ REJECT CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ HEAVY DUTY ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- ▭ HEAVY DUTY CONCRETE PAVEMENT
- ▭ RETAINING WALL (REFER TO PLAN SHEET/DETAIL)
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ◀ TREE UPLIGHTING (REFER TO PHOTOMETRIC CUT SHEET)
- ▲ ADA PARKING SIGNS



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**WEST VERONA AVENUE PHASE I BUILDING B & C**

PROJECT LOCATION:  
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DANE COUNTY, WI

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Design/Drawn: ABR  
Approved: KJ/TTB

SHEET TITLE:  
**SITE PLAN - BUILDING C**

SHEET NUMBER:  
**C2.2**

JSD PROJECT NO: 16-7365

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**FUTURE PHASE IV**  
(Refer to C2.0)

**LEGEND (GRADING & EROSION CONTROL PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- ▬ EDGE OF PAVEMENT
- ▬ STANDARD CURB AND GUTTER
- ▬ REJECT CURB AND GUTTER
- ▬ ASPHALT PAVEMENT
- ▬ HEAVY DUTY ASPHALT PAVEMENT
- ▬ CONCRETE PAVEMENT
- ⊠ LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ▲ ADA PARKING SIGNS
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 1 FOOT CONTOUR
- DRAINAGE DIRECTION
- ▬ PRIVATE STORM SEWER
- ▬ PUBLIC STORM SEWER
- ▬ PUBLIC STORM SEWER TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA
- ▬ DRAIN TILE
- ▬ SILT FENCE
- ▬ CONSTRUCTION LIMITS
- ⊠ INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- RIM - RIM ELEVATION
- GRADE BREAK

**CONSTRUCTION SEQUENCING**

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. REMOVE EXISTING PAVEMENT/STRUCTURES
3. INSTALL STORM SEWER SYSTEM.
4. EXCAVATE BUILDING FOUNDATIONS.
5. COMPLETE ALL OTHER GRADING.
6. INSTALL STORM SEWER & INLET PROTECTION MEASURES.
7. INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
8. STABILIZE NEWLY GRADED SOILS.
9. COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.

**GRADING AND SEEDING NOTES**

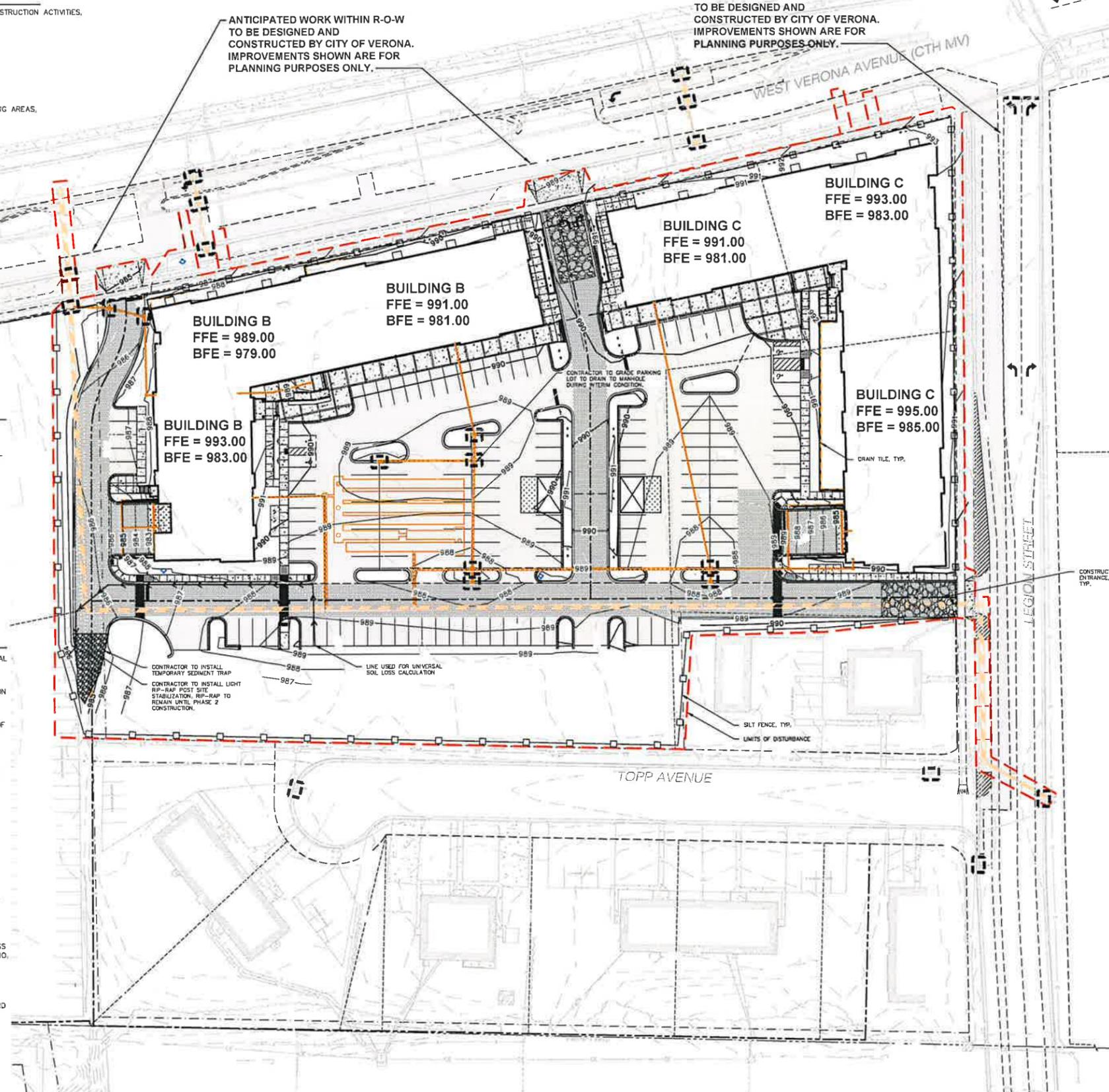
1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wisconsin.gov/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
11. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
12. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDR REQUIREMENTS.
13. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDR TECHNICAL STANDARD 1068.
14. EROSION CONTROL AND MAINTENANCE OF EROSION CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
15. THE CONTRACTOR SHALL KEEP COMPLETE INSPECTION FORMS ON SITE.
16. CONTRACTOR SHALL CLEAN THE PUBLIC STREET DAILY. HYDRAULIC FLUSHING IS NOT ALLOWED.
17. **STABILIZATION PRACTICES:**
  - 17.1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - \* PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - \* TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LB/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - \* HYDRO-MULCHING WITH A TACKIFIER
      - \* GEOTEXTILE EROSION MATTING
      - \* SODDING

ANTICIPATED WORK WITHIN R-O-W TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA. IMPROVEMENTS SHOWN ARE FOR PLANNING PURPOSES ONLY.

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Design/Drawn: JRK  
Approved: TJB

SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN**

SHEET NUMBER:  
**C3.0**

JSD PROJECT NO: 16-7365

north  
SCALE IN FEET  
40' 0 40'

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511

File: I:\2016\167365\DWG\PHASE 1 Construction Drawings\167365 C3.0 - GRADING PLAN.dwg Layout: C3.0 GRADING User: jranprzak Plotted: Oct 04, 2018 - 3:24pm Xref's:

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**LEGEND (GRADING & EROSION CONTROL PLAN)**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- 904 PROPOSED 1 FOOT CONTOUR
- 905 PROPOSED 1 FOOT CONTOUR
- DRAINAGE DIRECTION
- PRIVATE STORM SEWER
- PUBLIC STORM SEWER
- PUBLIC STORM SEWER TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA
- DRAIN TILE
- SILT FENCE
- CONSTRUCTION LIMITS
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- RIM - RIM ELEVATION
- GRADE BREAK

**CONSTRUCTION SEQUENCING**

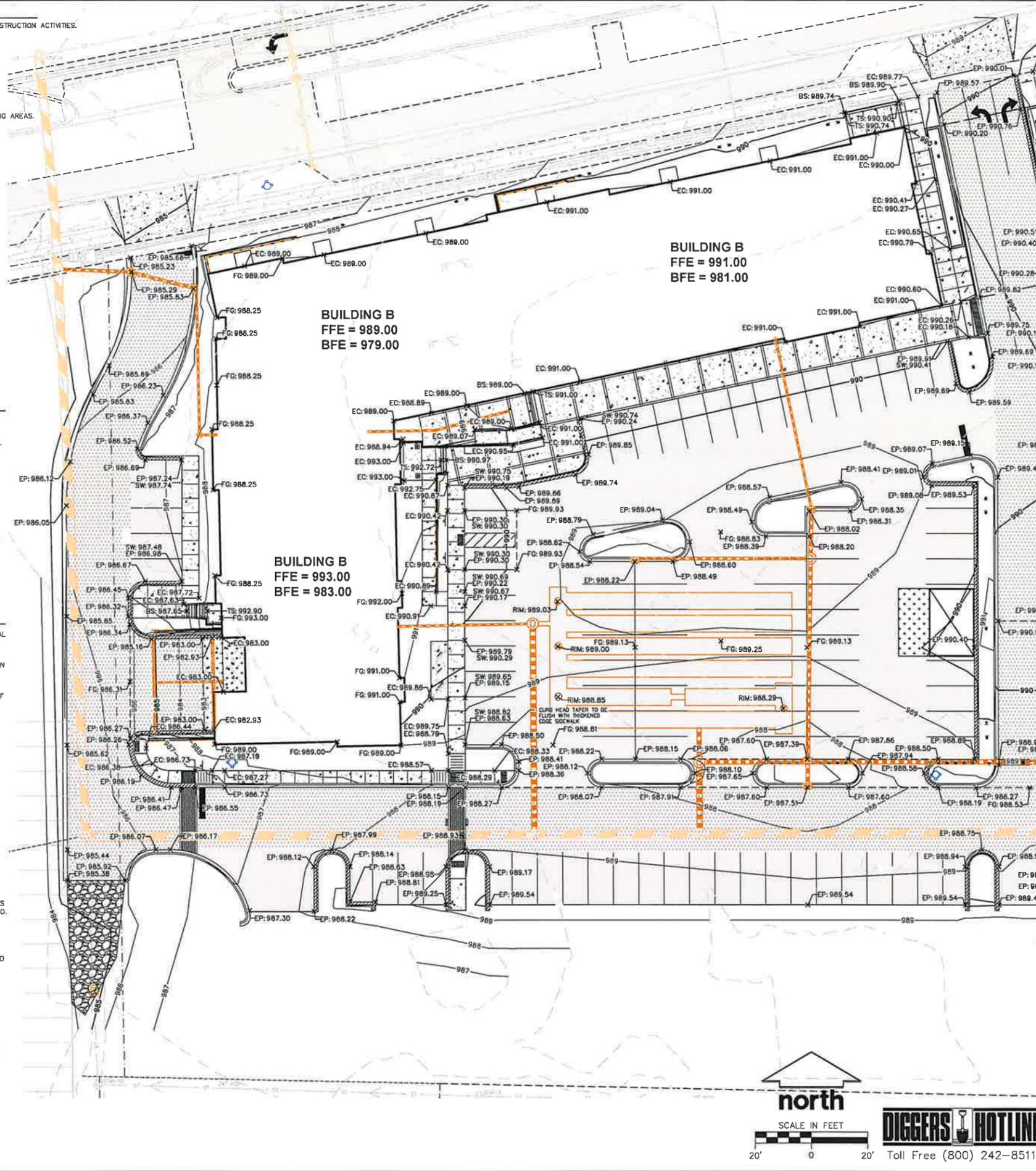
1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. REMOVE EXISTING PAVEMENT/STRUCTURES
3. INSTALL STORM SEWER SYSTEM.
4. EXCAVATE BUILDING FOUNDATIONS.
5. COMPLETE ALL OTHER GRADING.
6. INSTALL STORM SEWER & INLET PROTECTION MEASURES.
7. INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
8. STABILIZE NEWLY GRADED SOILS.
9. COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 10B1 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
11. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
12. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
13. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 10B8.
14. EROSION CONTROL AND MAINTENANCE OF EROSION CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
15. THE CONTRACTOR SHALL KEEP COMPLETE INSPECTION FORMS ON SITE.
16. CONTRACTOR SHALL CLEAN THE PUBLIC STREET DAILY. HYDRAULIC FLUSHING IS NOT ALLOWED.
17. **STABILIZATION PRACTICES:**
  - 17.1. \* STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - HYDRO-MULCHING WITH A TACKIFIER
      - GEOTEXTILE EROSION MATTING
      - SODDING



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VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
161 HORIZON DR. SUITE 101A  
VERONA, WI 53593

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
CITY OF VERONA  
DANE COUNTY, WI

PLAN MODIFICATIONS:

#	Date:	Description:
1	10.04.18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: JRC  
Approved: TJB

SHEET TITLE:  
**DETAILED GRADING  
PLAN - WEST**

SHEET NUMBER:  
**C3.1**

JSD PROJECT NO. 16-7365

File: I:\2016\167365\DWG\PHASE 1 Construction Drawings\167365\_C3.0 - GRADING PLAN.dwg Layout: C3.1 DETAILED GRADING WEST User: jasonpark PlotDate: Oct 04, 2018 - 3:21pm Xref:

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- EC - EDGE OF CONCRETE
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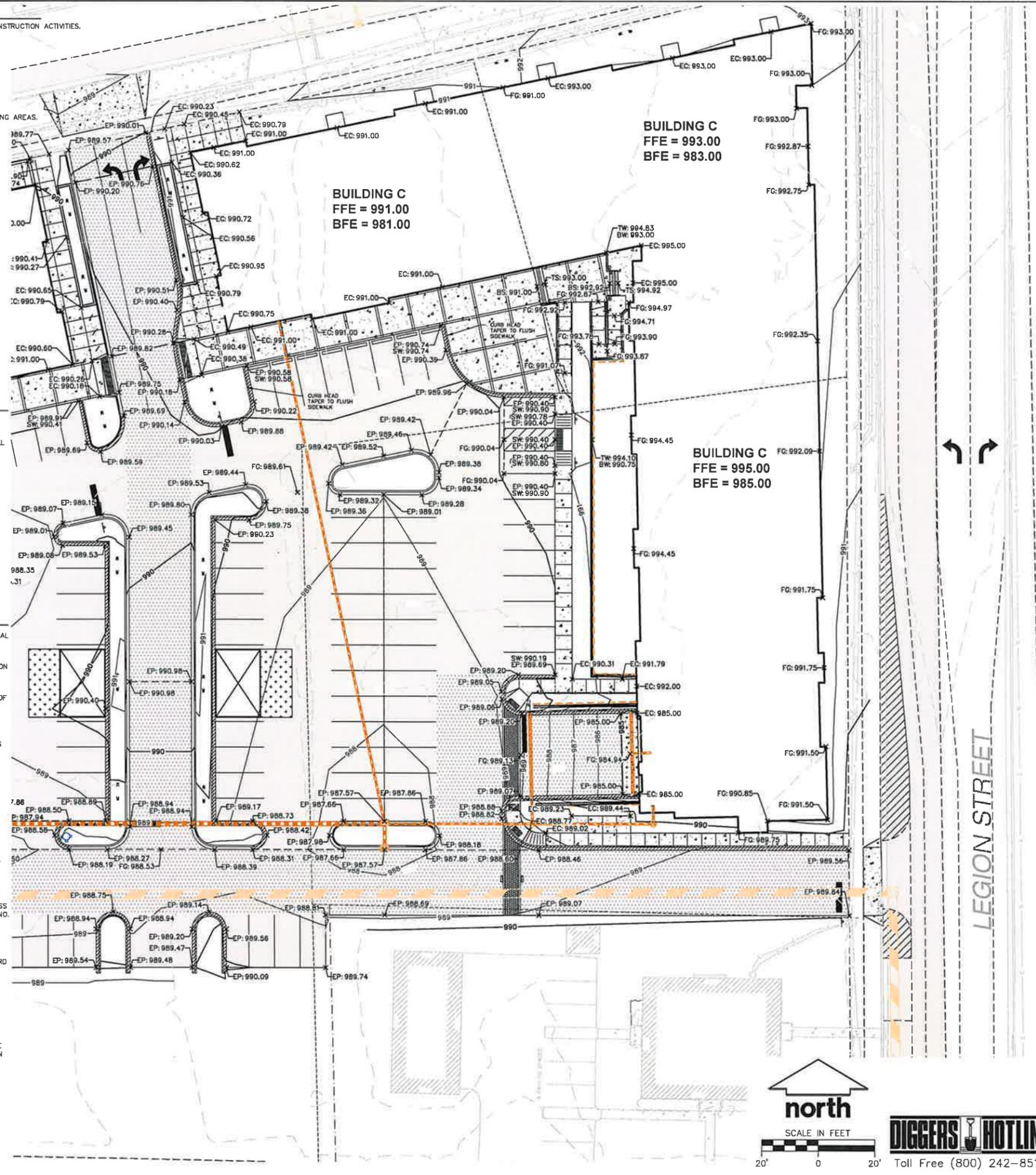
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  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
11. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
12. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
13. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
14. EROSION CONTROL AND MAINTENANCE OF EROSION CONTROL MEASURES ARE THE CONTRACTOR'S RESPONSIBILITY.
15. THE CONTRACTOR SHALL KEEP COMPLETE INSPECTION FORMS ON SITE.
16. CONTRACTOR SHALL CLEAN THE PUBLIC STREET DAILY. HYDRAULIC FLUSHING IS NOT ALLOWED.
17. **STABILIZATION PRACTICES:**
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    - \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE. MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - HYDRO-MULCHING WITH A TACKIFIER
      - GEOTEXTILE EROSION MATTING
      - SODDING
  - 17.2. \* THE INTERIM STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE
  - 17.3. \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - 17.4. \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE. MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
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P. 608.548.5060

CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
161 HORIZON DR. SUITE 101A  
VERONA, WI 53593

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
CITY OF VERONA  
DANE COUNTY, WI

PLAN MODIFICATIONS:

#	Date:	Description:
1	10/04/18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: JRK  
Approved: TJB

SHEET TITLE:  
**DETAILED GRADING  
PLAN - EAST**

SHEET NUMBER:  
**C3.2**

JSD PROJECT NO.: 16-7365

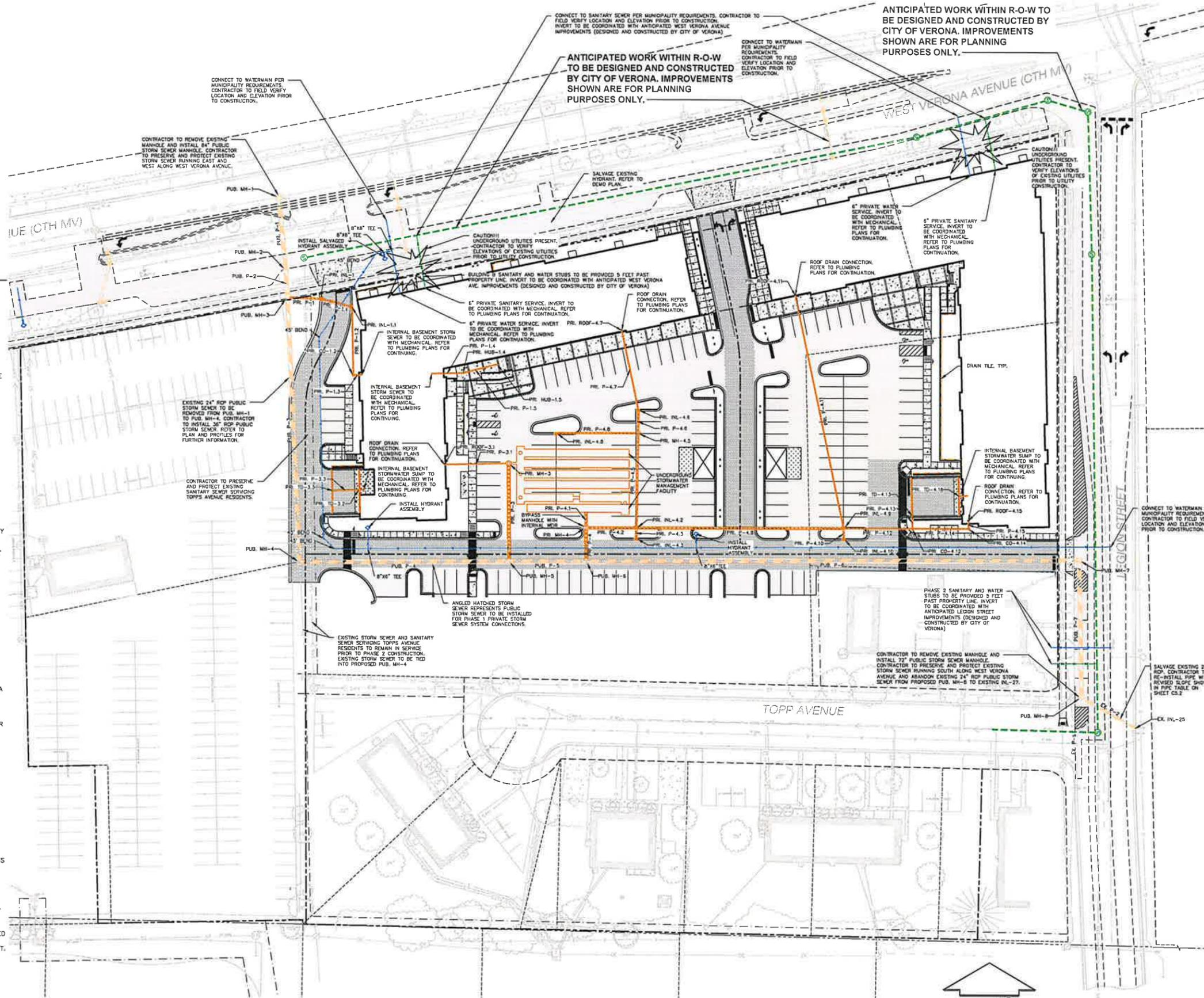
File: I:\2016\167365\DWG\PHASE 1 Construction Drawings\167365 C3.0 - GRADING PLAN.dwg Layout: C3.2 DETAILED GRADING PLAN EAST User: jasperzak Plotted: Oct 04, 2018 3:26pm Xref's: THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

**LEGEND (UTILITY PLAN)**

- PROPERTY LINE
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- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGNS
- SAN --- SANITARY SEWER
- PUBLIC SANITARY SEWER TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA
- PUBLIC STORM SEWER TO BE DESIGNED AND CONSTRUCTED BY CITY OF VERONA
- W --- WATERMAIN
- PRIVATE STORM SEWER
- PUBLIC STORM SEWER
- DRAIN TILE

**UTILITY NOTES:**

1. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDSPS, AND WDNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - PERFORMING UTILITY LOCATE OBSERVATIONS (ULO) ON ALL UTILITY CROSSINGS. CONTRACTOR TO REPORT ANY PLAN DISCREPANCIES OR CONFLICTS PRIOR TO THE START OF UTILITY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES TO CONDUCT ULO'S.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
7. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
10. CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
11. CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
12. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
14. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
15. ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(6)(B)4.A.
16. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 6" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
17. ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENVELOPING THE TOP AND SIDES OF WATER MAIN.
18. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE ENGINEER AND MUNICIPALITY FOR APPROVAL. WRITTEN APPROVAL FROM THE MUNICIPALITY MUST BE RECEIVED ONE (1) WEEK PRIOR TO ANY WORK STARTING.
19. ALL PROPOSED UTILITIES SHOWN OUTSIDE OF THE CONSTRUCTION LIMITS (LOCATED ON GRADING AND EROSION CONTROL PLAN C3.0) ARE TO BE PART OF THE ANTICIPATED WEST VERONA AVENUE AND LEGION STREET IMPROVEMENTS PROJECT.



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CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
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VERONA, WI 53593

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date	Description
1	10.04.18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: JRK  
Approved: TJB

SHEET TITLE:  
**OVERALL UTILITY PLAN**

SHEET NUMBER:  
**C4.0**

JSD PROJECT NO: 16-7365

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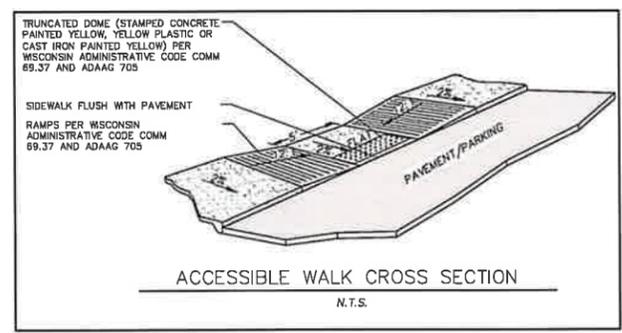
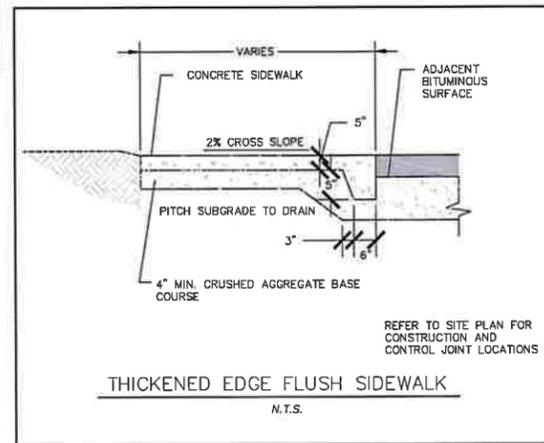
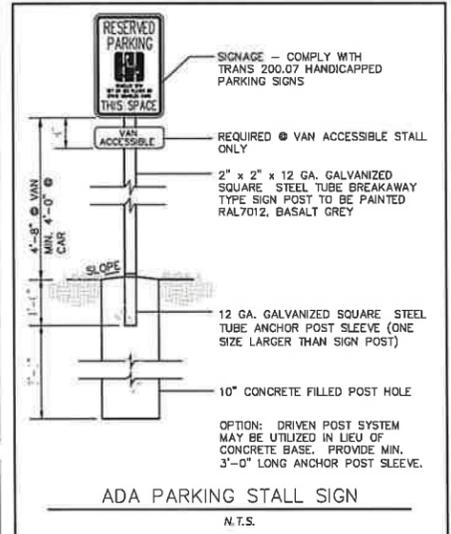
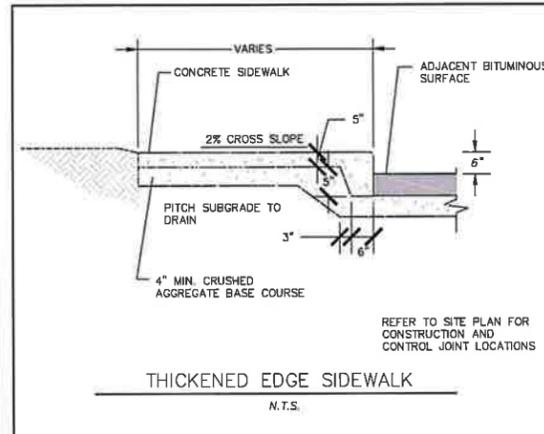
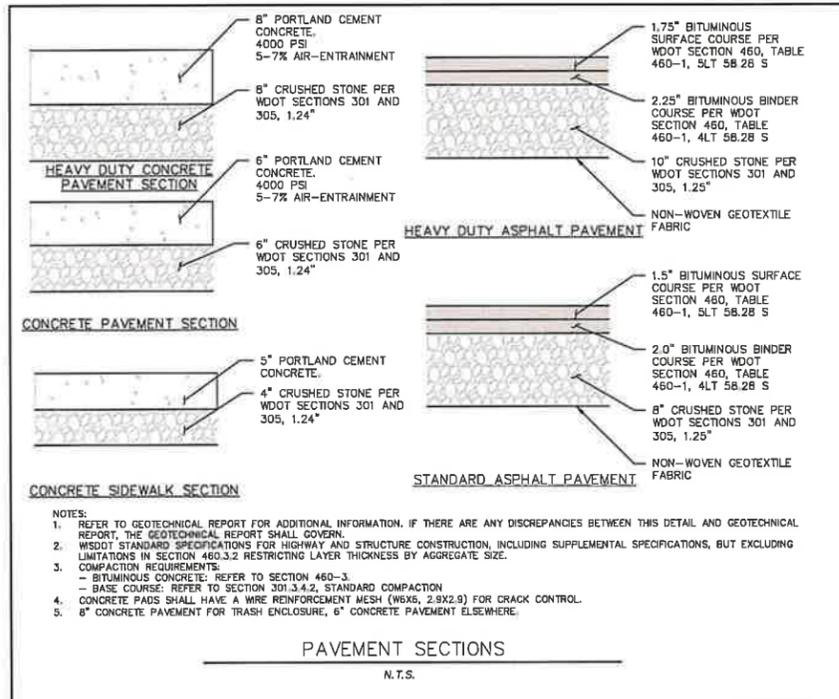
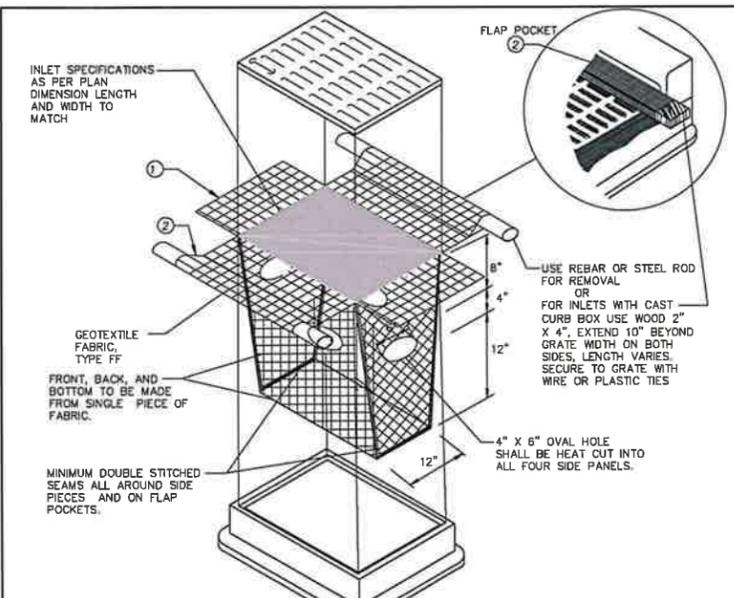
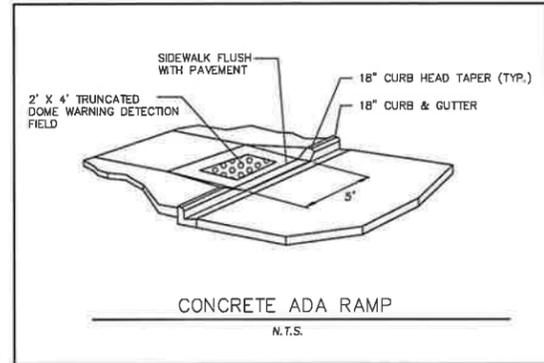
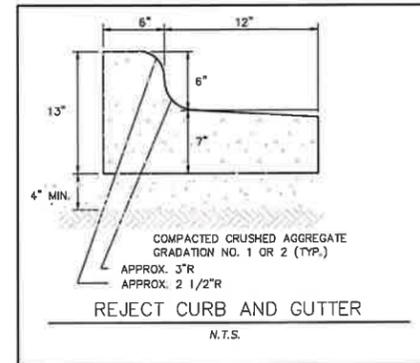
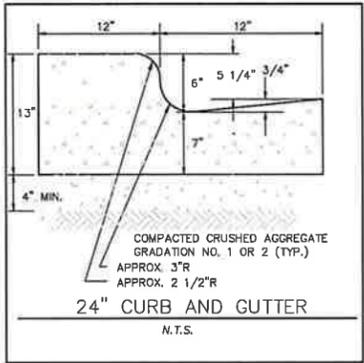
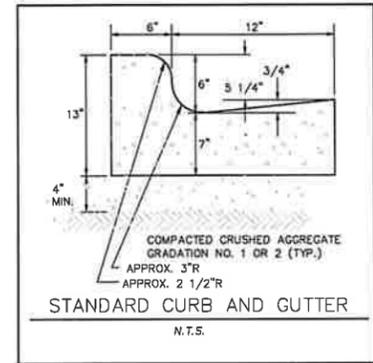
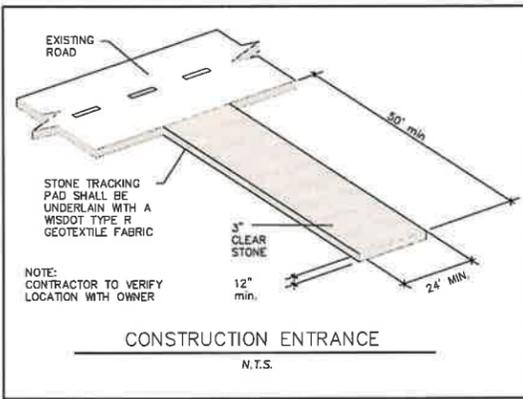
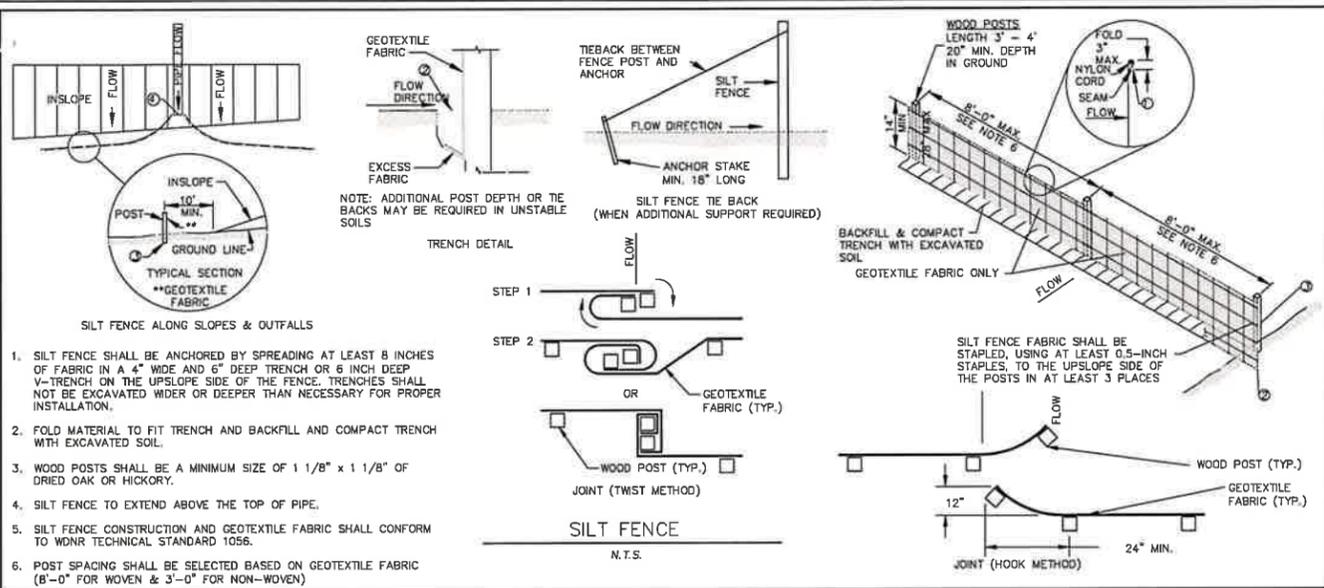
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**GENERAL NOTES**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

**INSTALLATION NOTES**

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



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 VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
 PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
 DANE COUNTY, WI**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	10/04/16	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: ABK  
 Approved: TB

SHEET TITLE:  
**DETAILS**

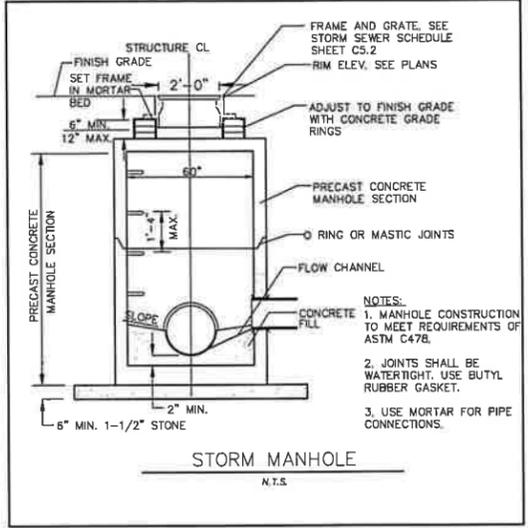
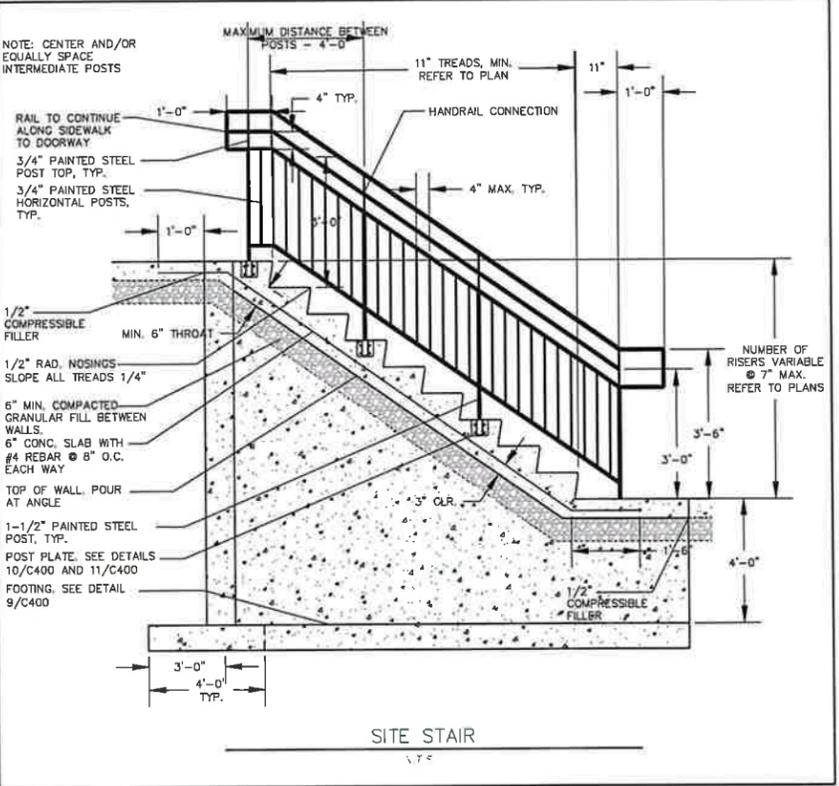
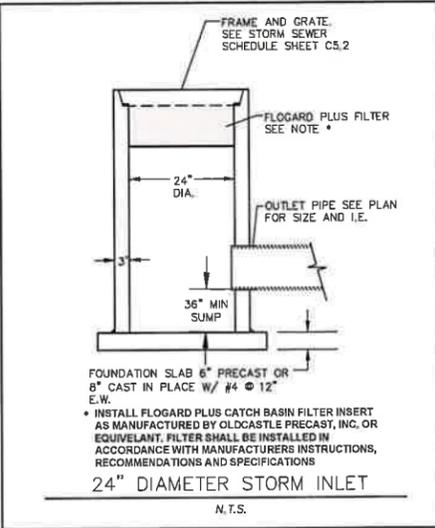
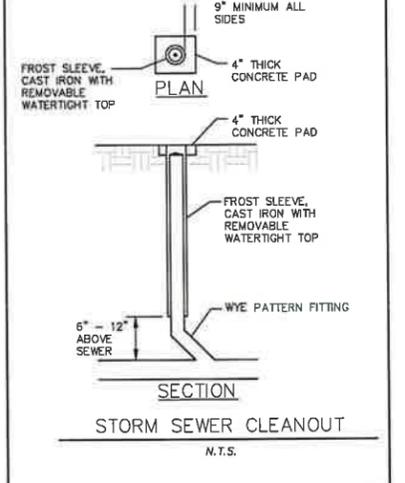
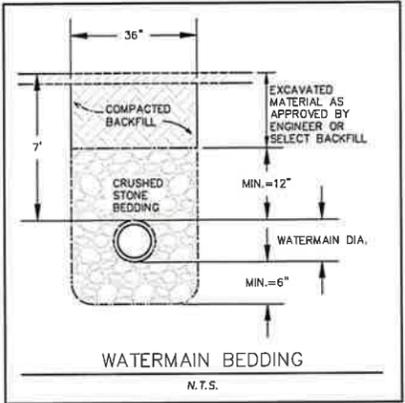
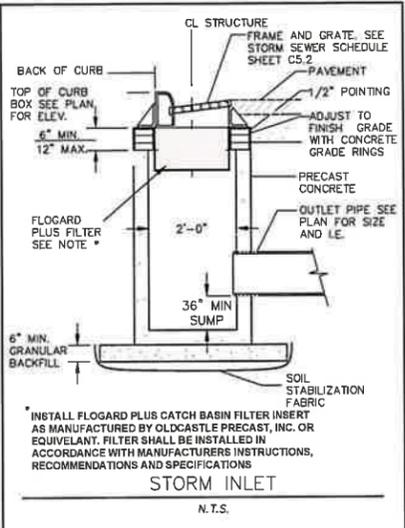
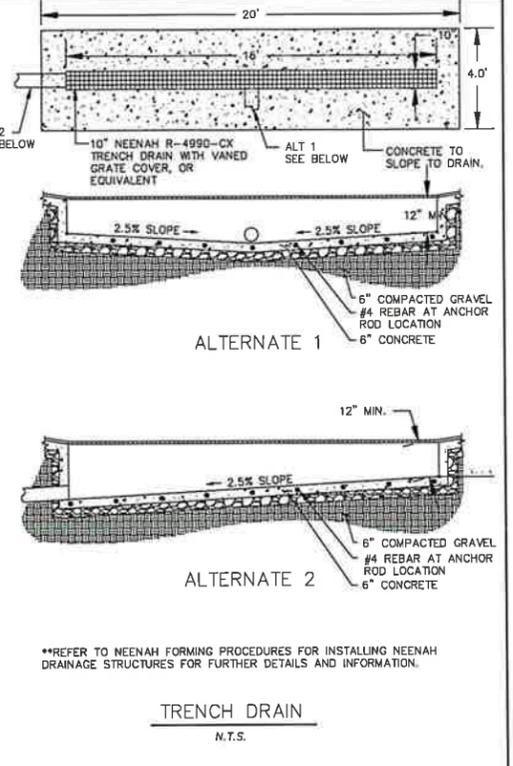
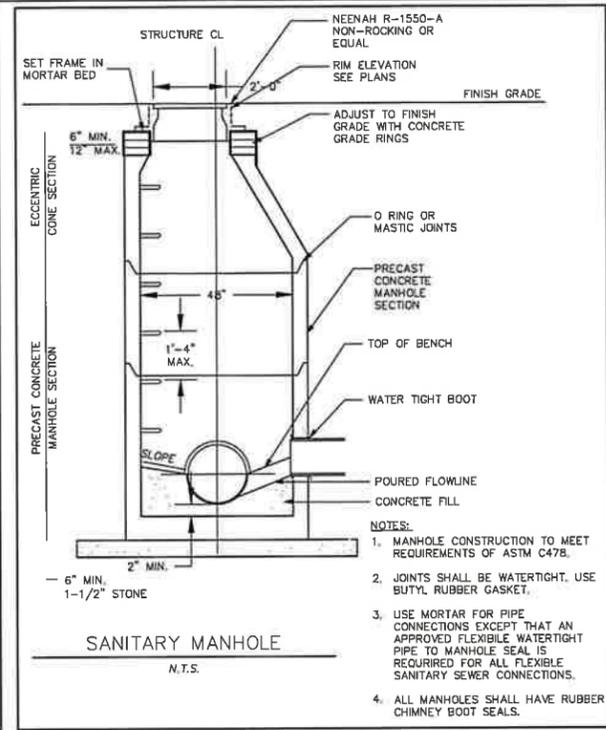
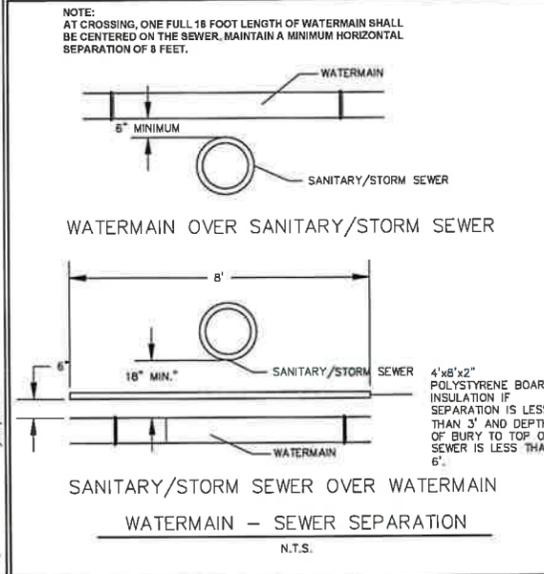
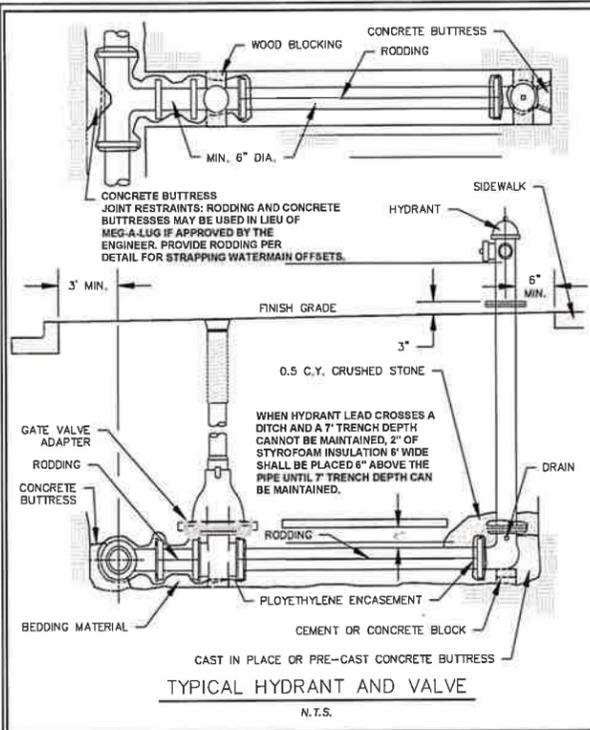
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JSD PROJECT NO: 16-7365



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VERONA, WI 53593

PROJECT:  
**WEST VERONA AVENUE PHASE I BUILDING B & C**

PROJECT LOCATION:  
CITY OF VERONA  
DANE COUNTY, WI

PLAN MODIFICATIONS:

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1	10/04/18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: ABK  
Approved: TB

SHEET TITLE:  
**DETAILS**

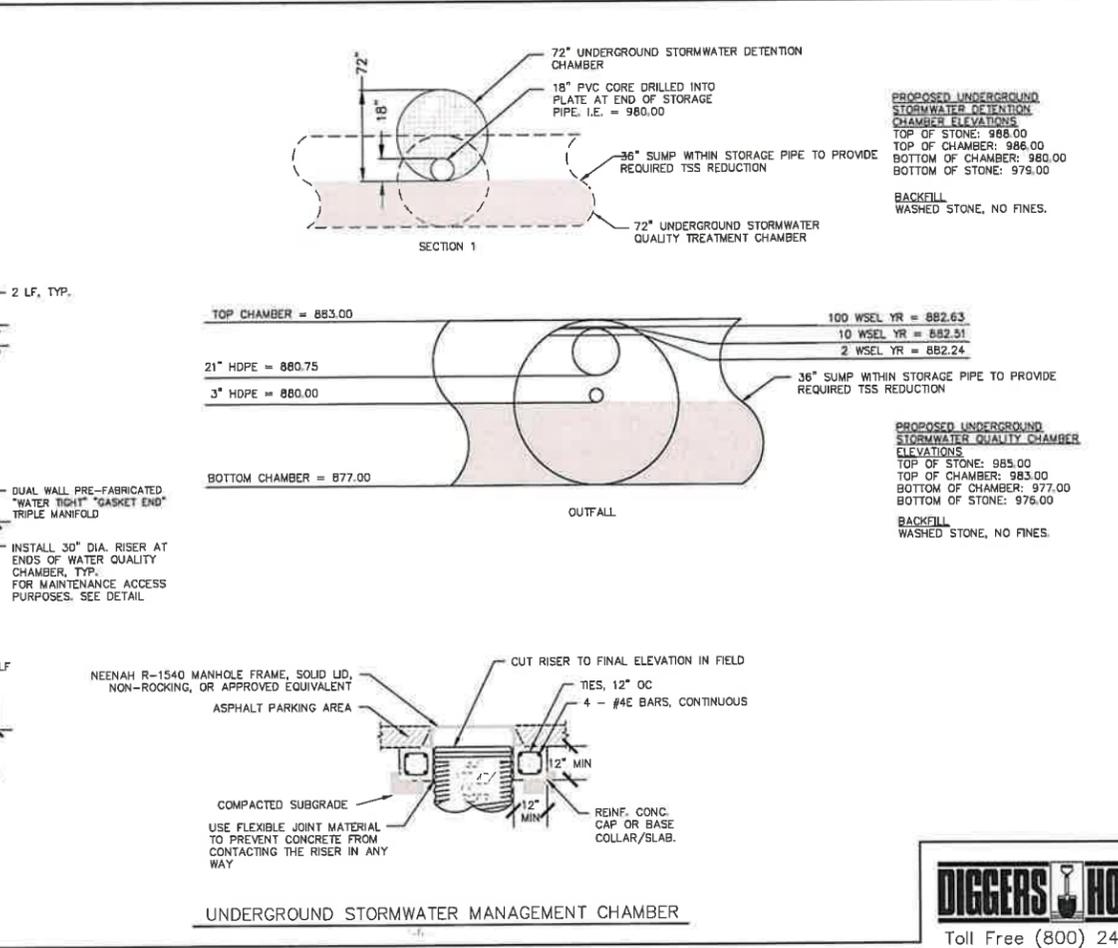
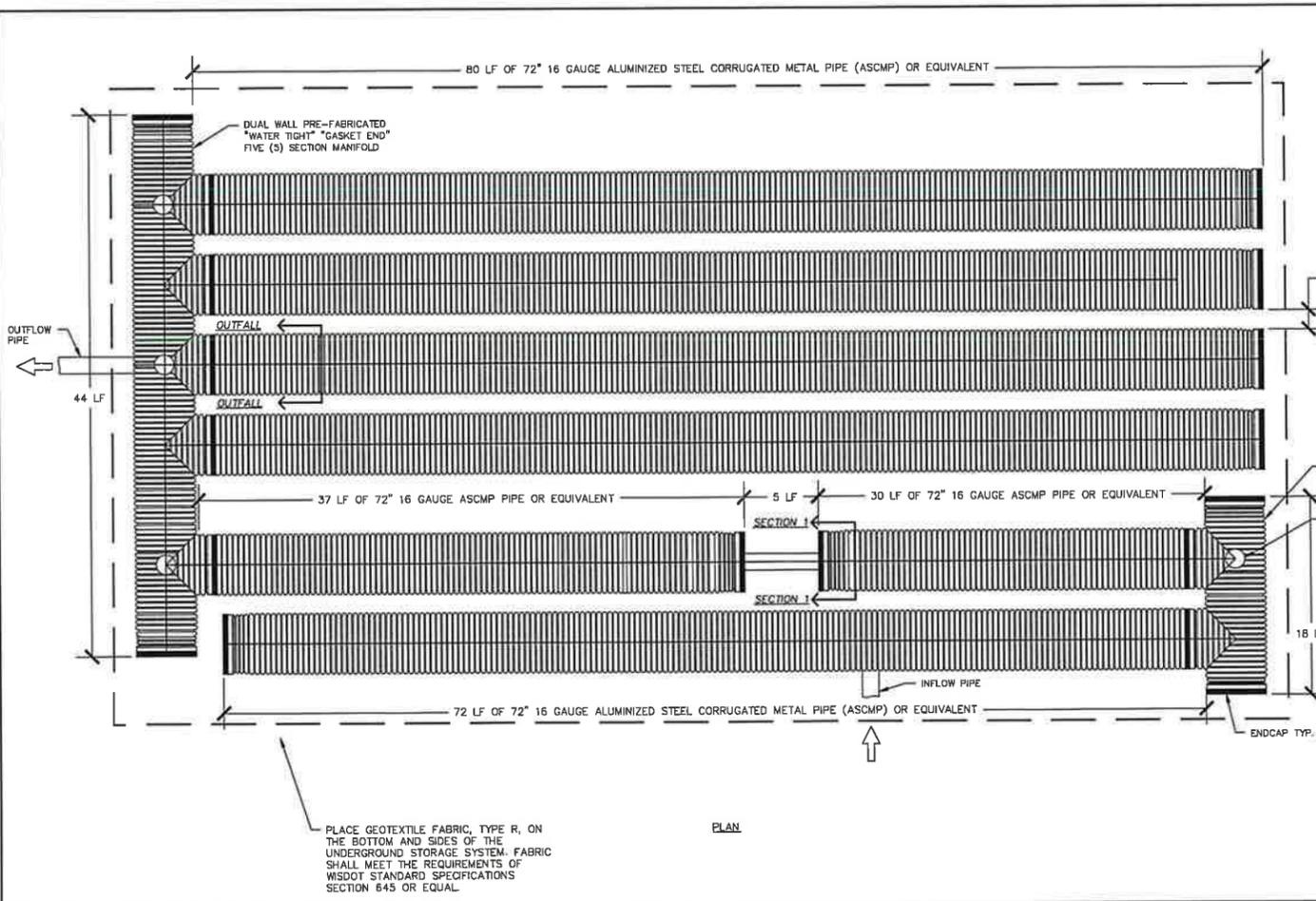
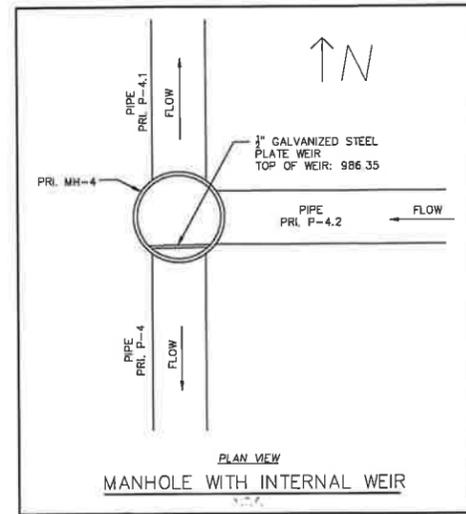
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PROPOSED STRUCTURES TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX. INL-25	988.33	NW INV: 984.41 (21")	3.9	2 x 3 INLET	R-3067 TYPE R
PRI. CO-1.2	986.01	E INV: 982.32 (8") N INV: 982.22 (8")	5.8	SEE DETAIL	SEE DETAIL
PRI. CO-4.12	986.96	N INV: 985.65 (8") E INV: 985.65 (8") W INV: 985.55 (8")	3.4	SEE DETAIL	SEE DETAIL
PRI. CO-4.14	989.85	N INV: 986.82 (8") W INV: 986.72 (8")	3.1	SEE DETAIL	SEE DETAIL
PRI. HUB-1.4	986.82	E INV: 985.58 (8") W INV: 985.48 (8")	3.3	12 IN IN-LINE DB	STANDARD LIGHT DUTY
PRI. HUB-1.5	986.85	W INV: 986.11 (8")	2.7	12 IN IN-LINE DB	STANDARD LIGHT DUTY
PRI. INL-1	985.23	E INV: 980.95 (12") W INV: 980.85 (12")	7.4	2 x 3 INLET	R-3067 TYPE L
PRI. INL-1.1	985.83	S INV: 981.70 (8") W INV: 981.20 (12")	4.6	2 x 3 INLET	R-3067 TYPE L
PRI. INL-4.2	987.33	S INV: 982.24 (15") N INV: 982.24 (15") E INV: 982.09 (18") W INV: 981.99 (18")	5.3	48 IN MH (FLAT)	R-3067 TYPE R
PRI. INL-4.3	987.45	N INV: 982.40 (15")	5.1	2 x 3 INLET	R-3067 TYPE R
PRI. INL-4.6	987.97	N INV: 984.72 (8") S INV: 984.14 (15")	3.8	2 x 3 INLET	R-3067 TYPE R
PRI. INL-4.8	988.16	E INV: 984.86 (12")	3.3	2 x 3 INLET	R-3067 TYPE R
PRI. INL-4.9	987.51	S INV: 984.17 (12") E INV: 984.50 (8") N INV: 984.50 (8") W INV: 983.67 (18")	3.8	48 IN MH (FLAT)	R-3067 TYPE R
PRI. INL-4.10	987.51	N INV: 984.33 (12")	3.2	2 x 3 INLET	R-3067 TYPE R
PRI. MH-3	989.27	W INV: 985.00 (8") S INV: 980.00 (24")	9.3	60 IN MH (FLAT)	R-1550 SOLID LID
PRI. MH-4	986.01	E INV: 981.22 (18") S INV: 980.12 (24") N INV: 980.12 (18")	7.9	72 IN MH (FLAT) *SEE DETAIL*	R-1550 SOLID LID
PRI. MH-4.5	986.40	N INV: 983.78 (15") W INV: 983.93 (12") S INV: 983.68 (15")	4.7	48 IN MH (FLAT)	R-1550 SOLID LID
PRI. ROOF-3.1	986.81	E INV: 986.93 (8")	N/A	N/A	N/A
PRI. ROOF-4.7	988.45	S INV: 986.57 (6")	N/A	N/A	N/A
PRI. ROOF-4.11	988.45	S INV: 986.57 (8")	N/A	N/A	N/A

PROPOSED STRUCTURES TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
PRI. ROOF-4.15	990.21	S INV: 987.01 (8")	N/A	N/A	N/A
PRI. SUMP-1.3	984.81	W INV: 982.36 (8")	N/A	N/A	N/A
PRI. TD-3.2	982.94	W INV: 981.10 (8") E INV: 980.56 (8")	N/A	TRENCH DRAIN	NEENAH R-4890-AK TYPE C GRATE
PRI. TD-3.3	985.04	E INV: 981.90 (8")	N/A	TRENCH DRAIN	NEENAH R-4890-AK TYPE C GRATE
PRI. TD-4.13	986.63	S INV: 985.95 (8")	N/A	TRENCH DRAIN	NEENAH R-4890-AK TYPE C GRATE
PRI. TD-4.16	984.96	E INV: 982.00 (8")	N/A	TRENCH DRAIN	NEENAH R-4890-AK TYPE C GRATE
PUB. MH-1	984.82	S INV: 977.37 (36") E INV: 979.07 (24") W INV: 977.14 (36")	7.7	84 IN MH (FLAT)	R-1550 SOLID LID
PUB. MH-2	984.30	S INV: 977.57 (36") N INV: 977.51 (36")	6.8	60 IN MH (FLAT)	R-3067 TYPE L
PUB. MH-3	985.28	S INV: 977.57 (36") E INV: 980.60 (12") N INV: 977.56 (36")	7.7	60 IN MH (FLAT)	R-1550 SOLID LID
PUB. MH-4	985.62	E INV: 978.12 (36") S INV: 979.65 (24") W INV: 978.07 (36")	7.6	84 IN MH (FLAT)	R-1550 SOLID LID
PUB. MH-5	988.76	E INV: 978.57 (36") N INV: 979.52 (24") W INV: 978.52 (36")	10.2	72 IN MH (FLAT)	R-1550 SOLID LID
PUB. MH-6	986.40	E INV: 978.82 (36") N INV: 979.72 (24") W INV: 978.72 (36")	9.7	60 IN MH (FLAT)	R-1550 SOLID LID
PUB. MH-7	989.37	S INV: 982.02 (36") W INV: 981.92 (36")	7.5	84 IN MH (FLAT)	R-1550 SOLID LID
PUB. MH-8	986.70	SE INV: 983.79 (21") S INV: 984.33 (12") N INV: 982.54 (36")	6.2	72 IN MH (FLAT)	R-1550 SOLID LID

PROPOSED PIPES TABLE									
LABEL	TO	FROM	LENGTH	DISCHARGE EL.	INVERT EL. (FT)	SLOPE	SIZE & MATERIAL		
EX. P-2	PUB. MH-8	EX. INL-25	47'	983.79	984.41	1.32%	21 IN RCP		
PRI. P-1	PUB. MH-3	PRI. INL-1	25'	980.60	980.85	1.00%	12 IN HDPE		
PRI. P-1.1	PRI. INL-1	PRI. INL-1.1	25'	980.95	981.20	1.00%	12 IN HDPE		
PRI. P-1.2	PRI. INL-1	PRI. CO-1.2	52'	981.70	982.22	1.00%	6 IN HDPE		
PRI. P-1.3	PRI. CO-1.2	PRI. SUMP-1.3	6'	982.32	982.38	1.00%	8 IN HDPE		
PRI. P-1.4	BUILDING	PRI. HUB-1.4	24'	985.00	985.48	2.00%	8 IN HDPE		
PRI. P-1.5	PRI. HUB-1.4	PRI. HUB-1.5	27'	985.58	986.11	2.00%	8 IN HDPE		
PRI. P-3	PUB. MH-5	PRI. MH-3	75'	979.52	980.00	0.64%	24 IN RCP		
PRI. P-3.1	PRI. MH-3	PRI. ROOF-3.1	48'	985.00	986.93	4.00%	8 IN HDPE		
PRI. P-3.2	BUILDING	PRI. TD-3.2	4'	980.50	980.58	2.00%	8 IN HDPE		
PRI. P-3.3	PRI. TD-3.2	PRI. TD-3.3	20'	981.10	981.90	4.00%	8 IN HDPE		
PRI. P-4	PUB. MH-6	PRI. MH-4	25'	979.72	980.12	1.56%	24 IN RCP		
PRI. P-4.1	J.G. DETENTION	PRI. MH-4	12'	980.00	980.12	1.00%	18 IN RCP		
PRI. P-4.2	PRI. MH-4	PRI. INL-4.2	38'	981.22	981.99	2.00%	18 IN HDPE		
PRI. P-4.3	PRI. INL-4.2	PRI. INL-4.3	8'	982.24	982.40	2.00%	15 IN HDPE		
PRI. P-4.5	PRI. INL-4.2	PRI. MH-4.5	72'	982.24	983.68	2.00%	15 IN HDPE		
PRI. P-4.6	PRI. MH-4.5	PRI. INL-4.6	18'	983.78	984.14	2.00%	15 IN HDPE		
PRI. P-4.7	PRI. INL-4.6	PRI. ROOF-4.7	62'	984.72	986.57	3.00%	8 IN HDPE		
PRI. P-4.8	PRI. MH-4.5	PRI. INL-4.8	62'	983.93	984.86	1.50%	12 IN HDPE		
PRI. P-4.9	PRI. INL-4.2	PRI. INL-4.9	158'	982.09	983.67	1.00%	18 IN HDPE		
PRI. P-4.10	PRI. INL-4.9	PRI. INL-4.10	8'	984.17	984.33	2.00%	12 IN HDPE		
PRI. P-4.11	PRI. INL-4.9	PRI. ROOF-4.11	181'	984.50	986.57	1.14%	8 IN HDPE		
PRI. P-4.12	PRI. INL-4.9	PRI. CO-4.12	52'	984.50	985.55	2.00%	8 IN HDPE		
PRI. P-4.13	PRI. CO-4.12	PRI. TD-4.13	10'	985.65	985.95	3.00%	8 IN HDPE		
PRI. P-4.14	PRI. CO-4.12	PRI. CO-4.14	43'	985.65	986.72	2.50%	8 IN HDPE		
PRI. P-4.15	PRI. CO-4.14	PRI. ROOF-4.15	6'	986.82	987.01	3.00%	8 IN HDPE		
PRI. P-4.16	BUILDING	PRI. TD-4.16	6'	981.88	982.00	2.00%	8 IN HDPE		
PUB. P-1	PUB. MH-1	PUB. MH-2	55'	977.37	977.51	0.25%	36 IN RCP		
PUB. P-2	PUB. MH-2	PUB. MH-3	21'	977.51	977.56	0.25%	36 IN RCP		
PUB. P-3	PUB. MH-3	PUB. MH-4	201'	977.57	978.07	0.25%	36 IN RCP		
PUB. P-4	PUB. MH-4	PUB. MH-5	159'	978.12	978.52	0.25%	36 IN RCP		
PUB. P-5	PUB. MH-5	PUB. MH-6	59'	978.57	978.72	0.25%	36 IN RCP		
PUB. P-6	PUB. MH-6	PUB. MH-7	376'	978.82	981.92	0.82%	36 IN RCP		
PUB. P-7	PUB. MH-7	PUB. MH-8	104'	982.02	982.54	0.50%	36 IN RCP		



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P. 608.848.5060

CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
**161 HORIZON DR. SUITE 101A  
VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	10.04.18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: JRK  
Approved: TB

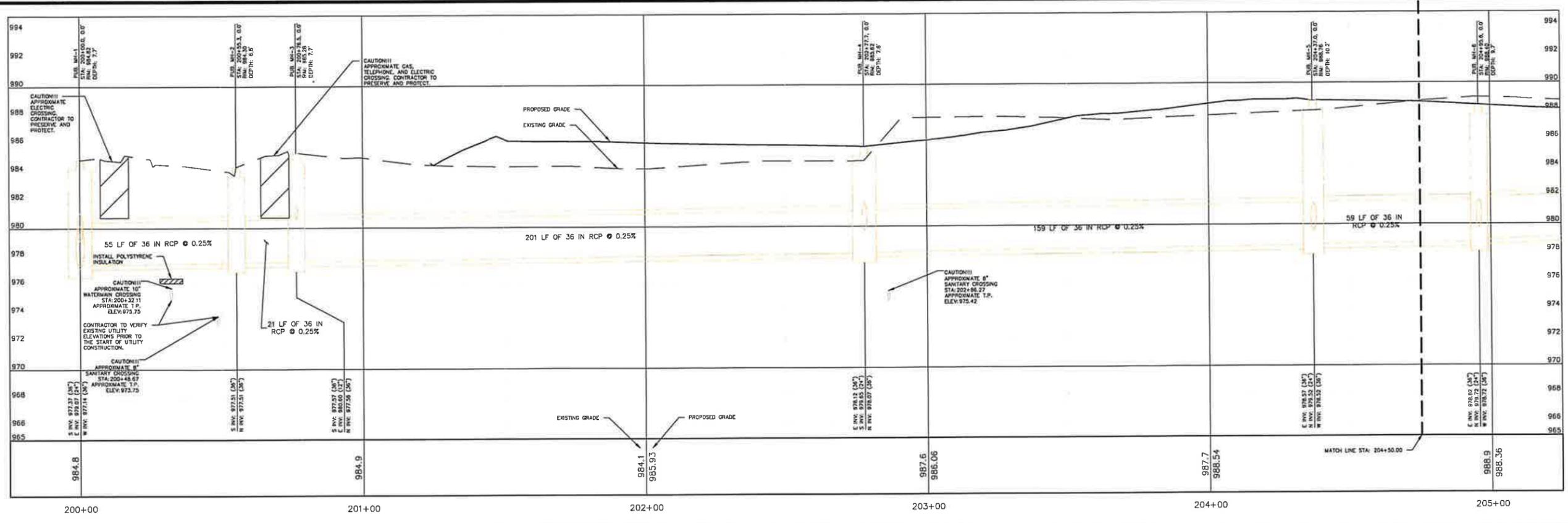
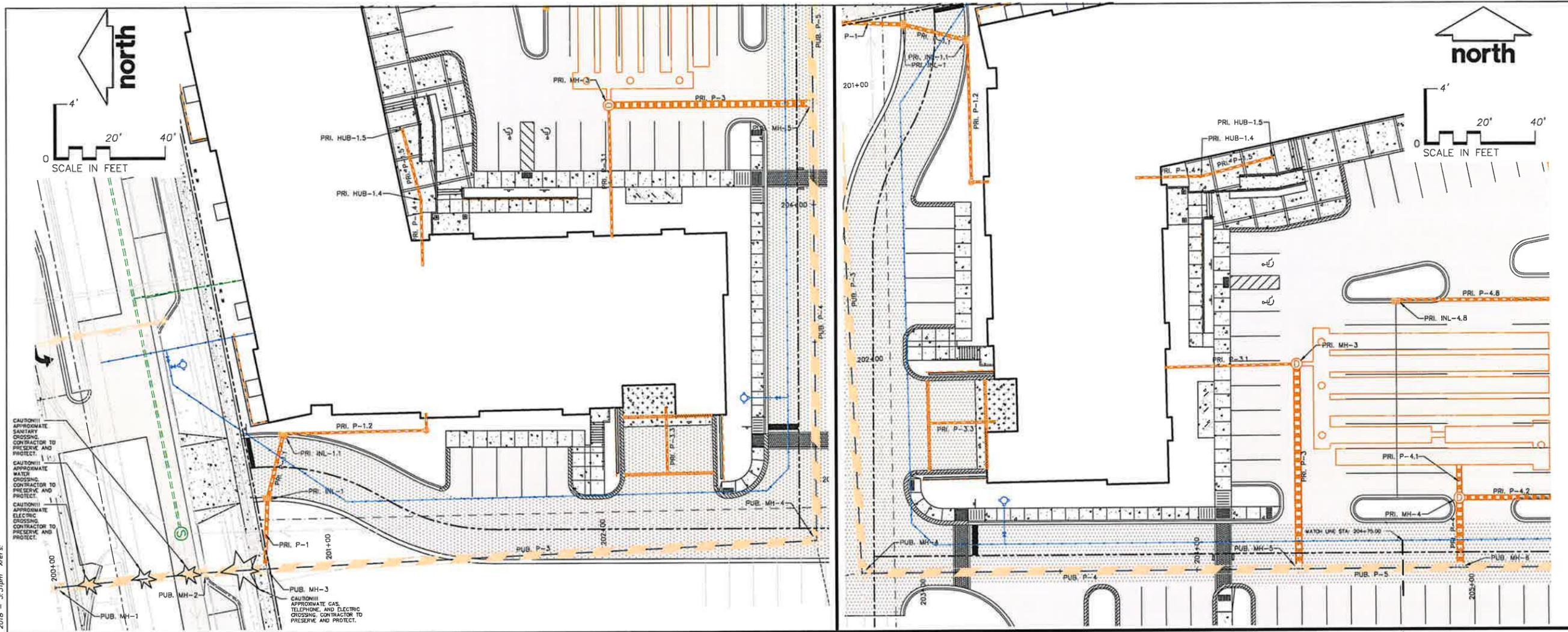
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**DETAILS**

SHEET NUMBER:  
**C5.2**

JSD PROJECT NO: 16-7365



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CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

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CLIENT ADDRESS:  
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VERONA, WI 53593

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PROJECT:  
**WEST VERONA AVENUE  
PHASE 1 BUILDING B & C**

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PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

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PLAN MODIFICATIONS:		
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1	10.04.18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: JRK  
Approved: TJB

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SHEET TITLE:  
**PLAN & PROFILE  
STORM SEWER  
STA: 199+75 TO 205+25**

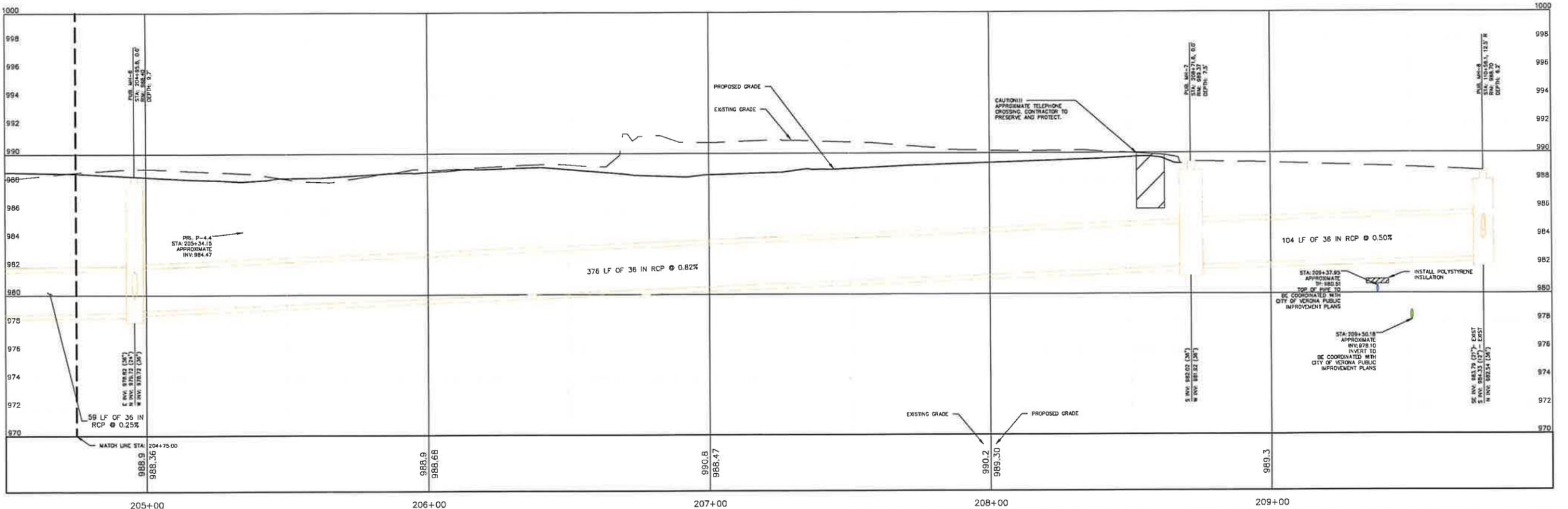
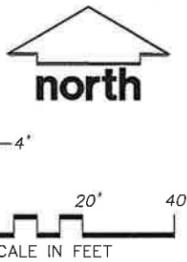
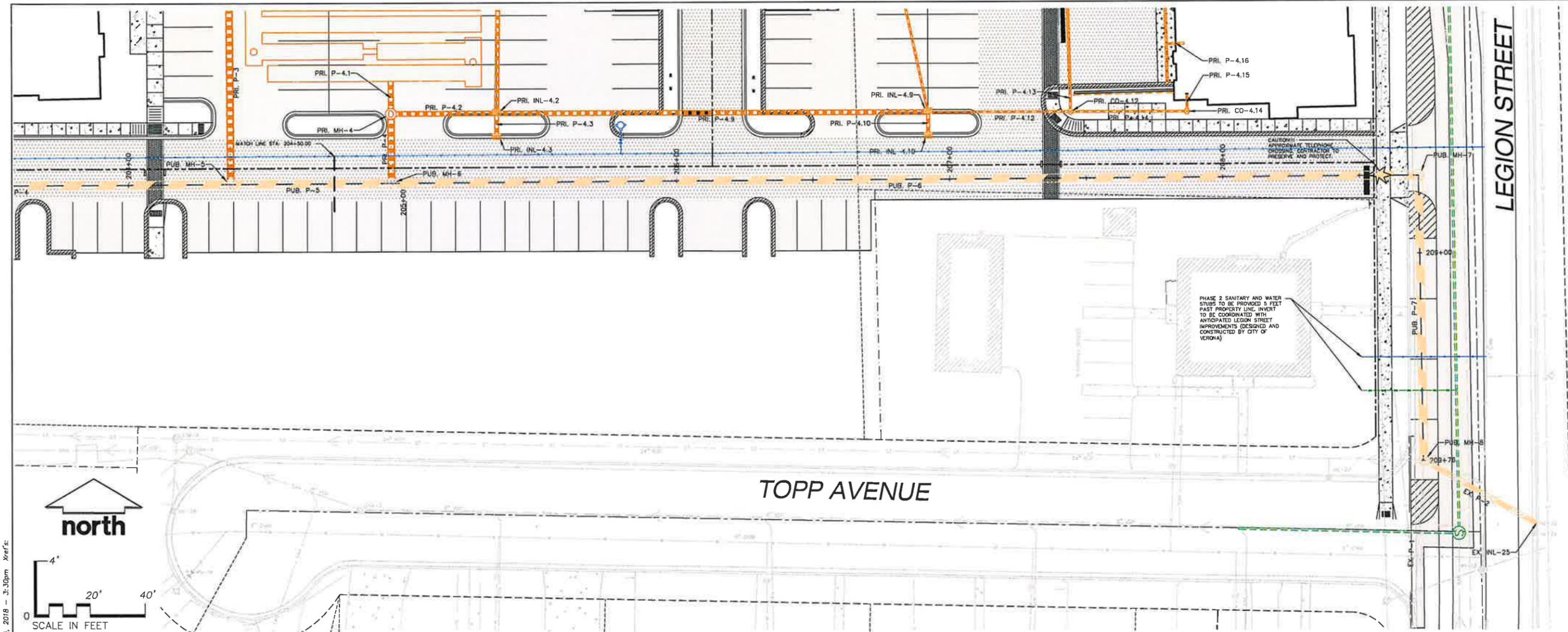
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SHEET NUMBER:  
C6.0

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JSD PROJECT NO: 16-7385

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CLIENT ADDRESS:  
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VERONA, WI 53593

---

PROJECT:  
**WEST VERONA AVENUE  
PHASE 1 BUILDING B & C**

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PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

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PLAN MODIFICATIONS:		
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1	10.04.18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: **JRK**  
Approved: **TJB**

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SHEET TITLE:  
**PLAN & PROFILE  
STORM SEWER  
STA: 204+50 TO 210+00**

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SHEET NUMBER:  
**C6.1**

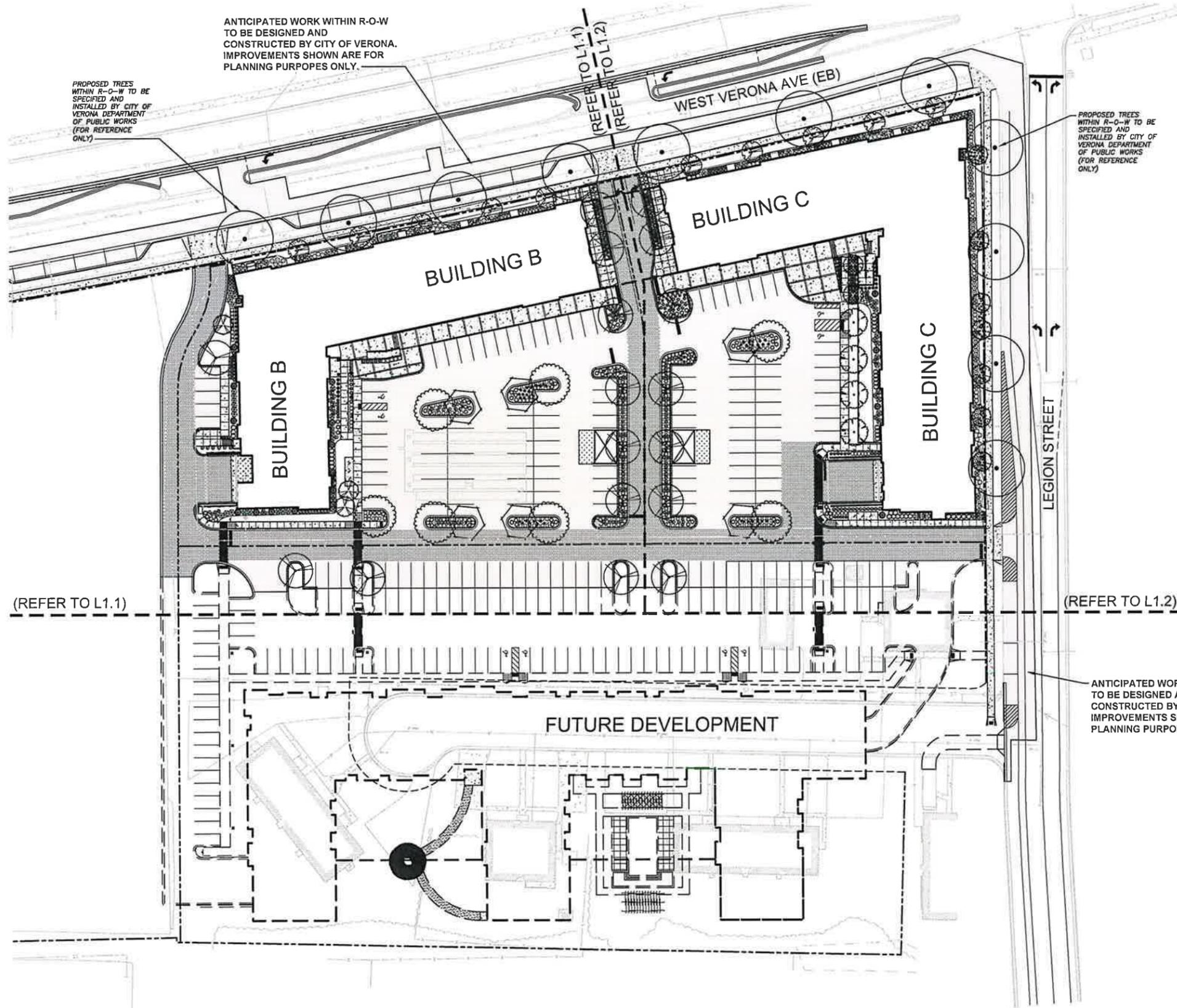
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JSD PROJECT NO: 16-7365

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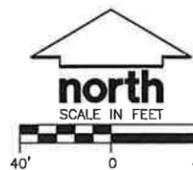


**LEGEND (LANDSCAPE PLAN)**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - EXISTING STORM SEWER
- - - EXISTING SANITARY SEWER
- - - EXISTING WATER SERVICE
- - - EXISTING FIBER OPTIC
- - - EXISTING GAS
- - - EXISTING 1 FOOT CONTOUR
- - - EXISTING 5 FOOT CONTOUR
- - - PROPOSED 1 FOOT CONTOUR
- - - PROPOSED 5 FOOT CONTOUR
- - - SAN
- - - ST
- - - W
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE RETAINING WALL
- x - RAILING
- LANDSCAPE EDGING
- ▲ ADA PARKING BOLLARDS/SIGNS
- | BIKE RACK
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- TREE UPLIGHTING (REFER TO PHOTOMETRIC CUT SHEET)

**GENERAL NOTES:**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY/TOWN/VILLAGE OF (BLANK) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE.



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**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
**161 HORIZON DR. SUITE 101A  
VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	10.04.18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: KJS  
Approved: MAS

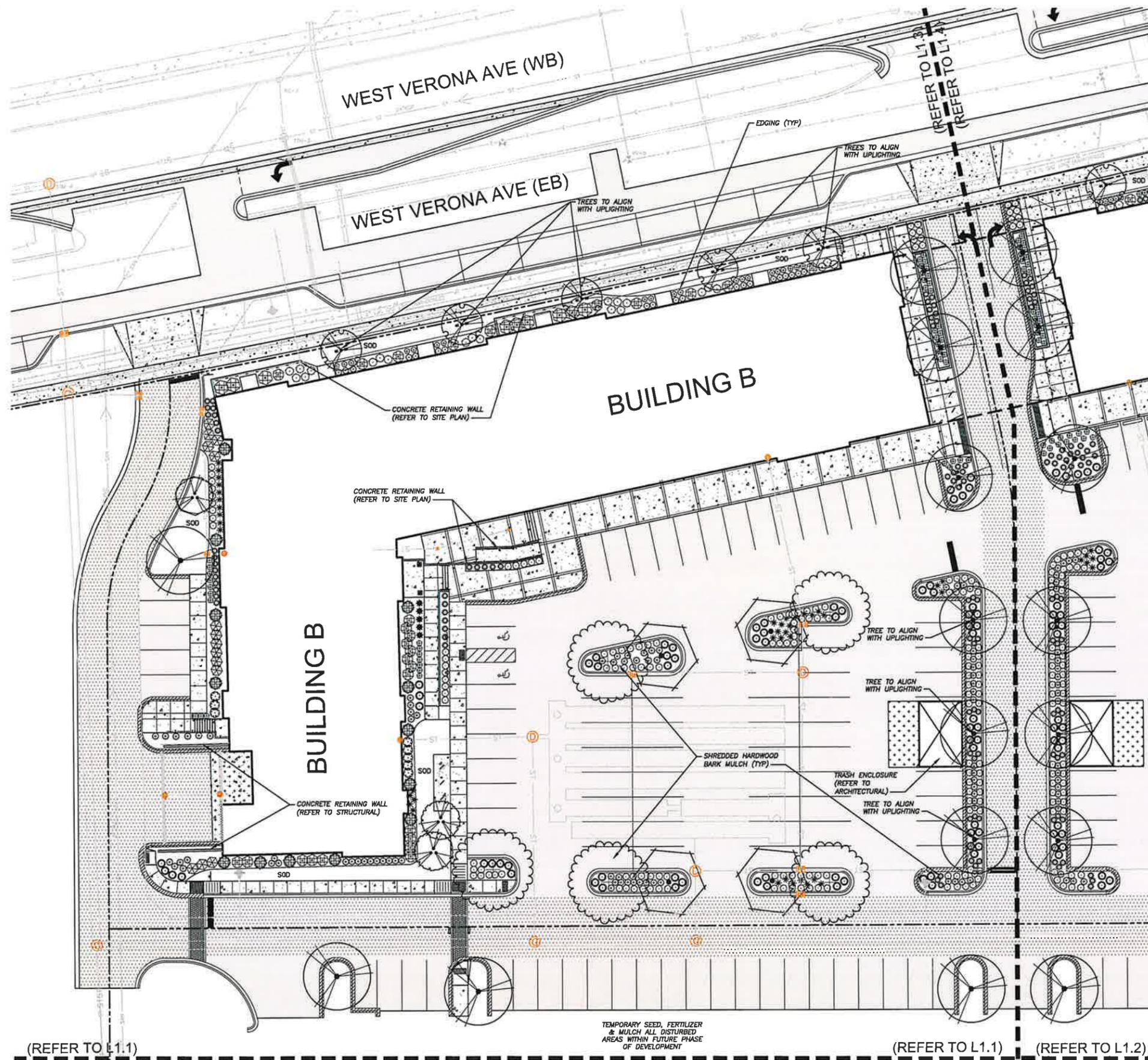
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**LANDSCAPE PLAN -  
OVERALL**

SHEET NUMBER:  
**L1.0**

JSD PROJECT NO: 16-7365

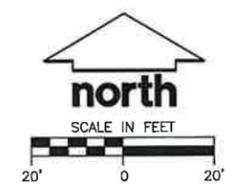
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**LEGEND (LANDSCAPE PLAN)**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- ST EXISTING STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATER SERVICE
- FO EXISTING FIBER OPTIC
- G EXISTING GAS
- 999 EXISTING 1 FOOT CONTOUR
- 1000 EXISTING 5 FOOT CONTOUR
- 999 PROPOSED 1 FOOT CONTOUR
- 1000 PROPOSED 5 FOOT CONTOUR
- SAN PROPOSED SANITARY SEWER
- ST PROPOSED STORM SEWER
- W PROPOSED WATER SERVICE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE RETAINING WALL
- RAILING
- LANDSCAPE EDGING
- ADA PARKING BOLLARDS/SIGNS
- BIKE RACK
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- TREE UPLIGHTING (REFER TO PHOTOMETRIC CUT SHEET)



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CLIENT:  
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CLIENT ADDRESS:  
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VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

PLAN MODIFICATIONS:

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1	10/04/18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: KJS  
Approved: MAS

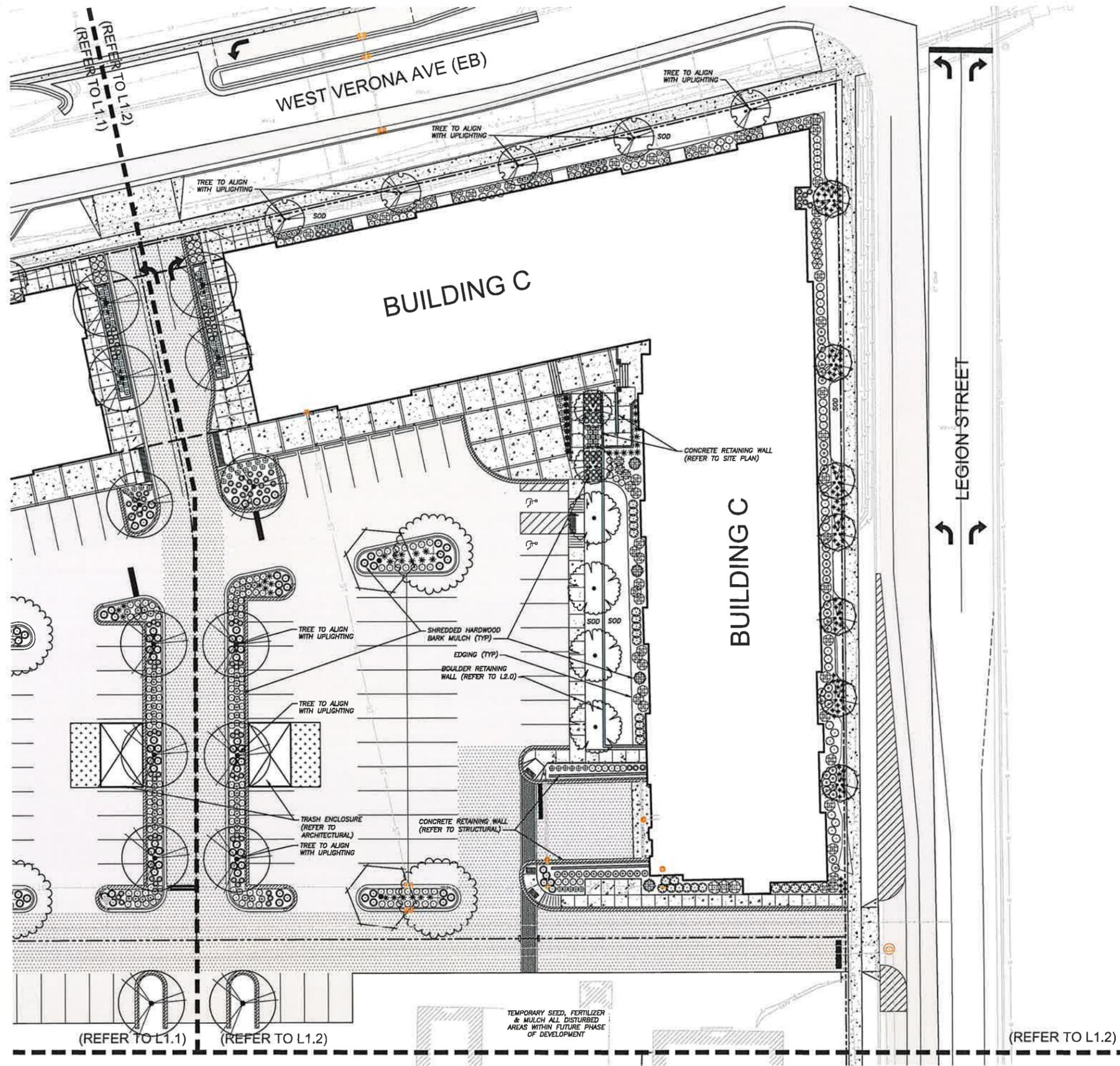
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BUILDING B**

SHEET NUMBER:  
**L1.1**

JSD PROJECT NO: 16-7365

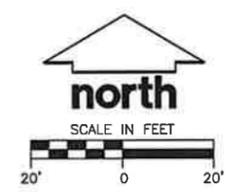
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**LEGEND (LANDSCAPE PLAN)**

---	PROPERTY LINE
- - -	RIGHT-OF-WAY
- - -	EASEMENT LINE
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---	EXISTING SANITARY SEWER
---	EXISTING WATER SERVICE
---	EXISTING FIBER OPTIC
---	EXISTING GAS
---	EXISTING 1 FOOT CONTOUR
---	EXISTING 5 FOOT CONTOUR
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
---	PROPOSED WATER SERVICE
---	BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	CONCRETE PAVEMENT
---	ASPHALT PAVEMENT
---	CONCRETE RETAINING WALL
---	RAILING
---	LANDSCAPE EDGING
---	ADA PARKING BOLLARDS/SIGNS
---	BIKE RACK
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	TREE UPLIGHTING (REFER TO PHOTOMETRIC CUT SHEET)



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CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
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VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

**PLAN MODIFICATIONS**

#	Date	Description
1	10/04/18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: KJS  
Approved: MAS

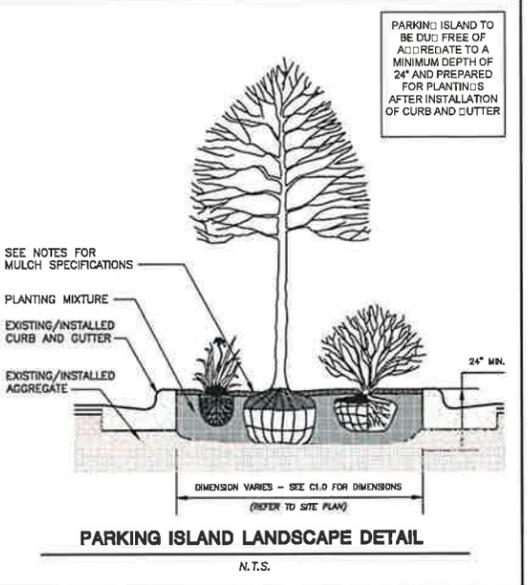
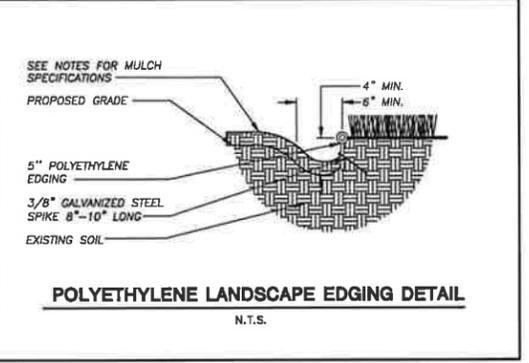
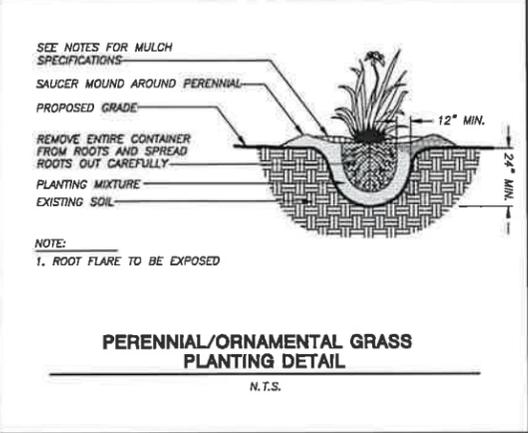
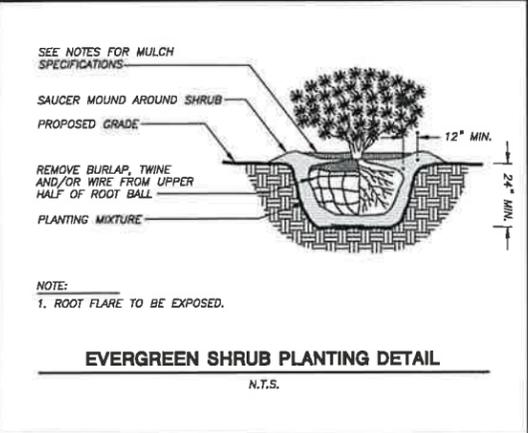
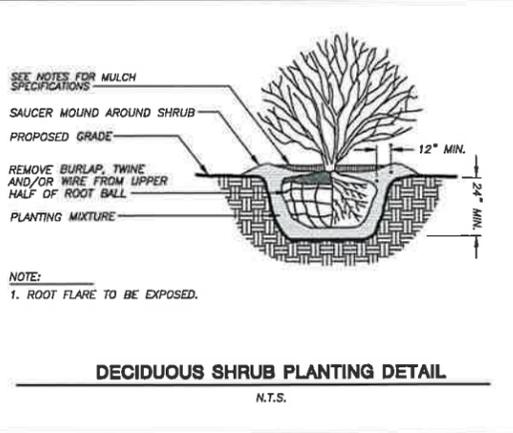
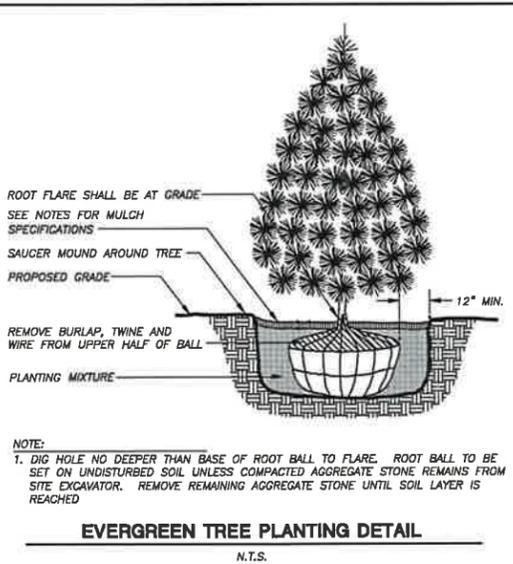
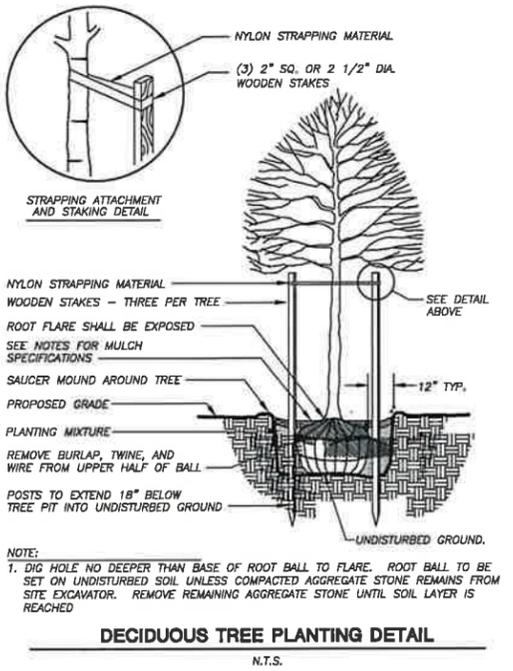
SHEET TITLE:  
**LANDSCAPE PLAN - NORTHEAST**

SHEET NUMBER:  
**L1.2**

JSD PROJECT NO. 16-7365

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**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND STAMINA. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASES AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH THE SUPPLIER'S STANDARDS. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ALL SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS TO A MINIMUM AND CONSISTENT DEPTH OF 3" INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

**SEEDING NOTES**

- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .80 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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P. 608.848.5060

CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
**161 HORIZON DR. SUITE 101A  
VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	10.04.18	PIP SUBMITTAL - BUILD B & C
2		
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Design/Drawn: KJS  
Approved: MAS

SHEET TITLE:  
**LANDSCAPE DETAILS & NOTES**

SHEET NUMBER:  
**L2.0**

JSD PROJECT NO: 16-7395



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# BUILDING B

POINT REQUIREMENT 1: BUILDING FOUNDATION	
Zoning: PUD	Urban Commercial: 955 Linear Feet of Building Foundation
Calculation:	20 Landscape Points per 100 L.F.
Calculation Formula:	(955 Linear Feet of Building Foundation / 100 Linear Feet) x 20 Points per 100 L.F. = 193
Total Points Required:	193 Total Points
Total Points Provided:	216 Total Points
Code of Ordinances:	Screening of Utilities, HVAC no Climax or Medium Trees To be located a maximum of 10' from building dripline
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Fothergilla gardenii	Dwarf Fothergilla
Juniperus sabina 'Mini Arcade'	Mini Arcade Juniper
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea
Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark
Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac
Spiraea betulifolia 'Tor'	Birchleaf Spirea
	<b>QTY    POINTS    TOTAL POINTS</b>
	14    1    14
	7    3    21
	22    3    66
	27    3    81
	9    1    9
	8    3    24
	<b>Total Points = 216</b>

POINT REQUIREMENT 2: STREET FRONTAGE	
Zoning: PUD	Urban Commercial: 292 Linear Feet of Street Frontage
Calculation:	20 Landscape Points per 100 L.F.
Calculation Formula:	(292 Feet of Street Frontage / 100 Linear Feet) x 20 Points per 100 L.F. = 58.4
Total Points Required:	58 Total Points
Total Points Provided:	105 Total Points
Code of Ordinances:	Min. 50% of Points to be Climax Trees or Tall Trees, Min. 30% of Points to be Small Trees To be located a maximum of 10' from R-O-W; no shrubs used to meet requirement
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Acer rubrum 'Redpointe'	Redpointe Maple
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
	<b>QTY    POINTS    TOTAL POINTS</b>
	1    75    75
	3    10    30
	<b>Total Points = 105</b>

POINT REQUIREMENT 3: PAVED AREA	
Zoning: PUD	Urban Commercial: 74,892 Sq. Ft. of Pavement, 73 Parking Stalls
Calculation 1:	Greener of 40 Landscape Points per 20 Stalls or 40 Points per 10,000 Sq. Ft. of Paved Area
Calculation 2:	360 Sq. Ft. of landscape area for every 100 Points required
Calculation 1 Formula:	(74,892 Sq. Ft. / 10,000) x 40 Points = 299.5
Total Points Required:	300 Total Points
Total Points Provided:	516 Total Points
Code of Ordinances:	Min. 30% of Points to be Climax Trees, Min. 40% of Points to be Shrub 360 Sq. Ft. of landscape area for every 100 Points required
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo
Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust
Juniperus sabina 'Mini Arcade'	Mini Arcade Juniper
	<b>QTY    POINTS    TOTAL POINTS</b>
	4    75    300
	4    15    60
	52    3    156
	<b>Total Points = 516</b>

POINT REQUIREMENT 4: DEVELOPED LOTS (BUILDING SQ. FT.)	
Zoning: PUD	Urban Commercial: 90,400 Sq. Ft. of Gross Floor Area
Calculation:	5 Landscape Points per 1,000 Sq. Ft. of Gross Floor Area
Calculation Formula:	(90,400 Sq. Ft. of Gross Floor Area / 1,000 Sq. Ft.) x 5 Points = 452
Total Points Required:	452 Total Points
Total Points Provided:	545 Total Points
Code of Ordinances:	Located away from and not contributing to Building Foundation Plantings, Street Frontages, Paved Areas points requirements
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Acer rubrum 'Redpointe'	Redpointe Maple
Thuja occidentalis 'Holmstrup'	Holmstrup Cedar
Carpinus caroliniana	American Hornbeam
Cercis canadensis	Eastern Redbud Multi-trunk
Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust
Juniperus sabina 'Mini Arcade'	Mini Arcade Juniper
	<b>QTY    POINTS    TOTAL POINTS</b>
	8    30    240
	13    20    260
	1    10    10
	2    10    20
	1    15    15
	10    3    30
	<b>Total Points = 575</b>

PLANT SCHEDULE BUILDING B						
CLIMAX TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	GB	4	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo	B & B	2" Cal	75
LOW DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AG	5	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	4 ft tall min.	10
	CA	1	Carpinus caroliniana / American Hornbeam	B & B	4 ft tall min.	10
	CE	2	Cercis canadensis / Eastern Redbud Multi-trunk	B & B	4 ft tall min.	10
MEDIUM DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	GS	5	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	1.5" Cal	15
MEDIUM EVERGREEN TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	TH	13	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	4 ft tall min.	20
TALL DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AR	10	Acer rubrum 'Redpointe' / Redpointe Maple	B & B	1.5" Cal	30
LOW DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	FG2	14	Fothergilla gardenii / Dwarf Fothergilla	3 gal	18" Min. Ht.	1
	RG2	9	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	18" Min. Ht.	1
LOW EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	JS	69	Juniperus sabina 'Mini Arcade' / Mini Arcade Juniper	3 gal	12" Tall/Wide	3
MEDIUM DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	HA	22	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	24" Min Ht.	3
	PT	27	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	3 gal	24" Min Ht.	3
	ST	8	Spiraea betulifolia 'Tor' / Birchleaf Spirea	3 gal	24" Min Ht.	3
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	CB	74	Calamagrostis brachytricha / Korean Feather Reed Grass	1 gal	Cont.	0
	HS	5	Helictotrichon sempervirens / Blue Oat Grass	1 gal	Cont.	0
	PN	39	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal	Cont.	0
	PS2	67	Panicum virgatum 'Shenandoah' / Switch Grass	1 gal	Cont.	0
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	HG	17	Heuchera x 'Georgia Peach' / Coral Bells	1 gal	Cont.	0
	HR	20	Hosta x 'Regal Splendor' / Regal Splendor Plantain Lily	1 gal	Cont.	0
	PAL	142	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	1 gal	Cont.	0
	SA2	47	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal	Cont.	0



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CLIENT:  
**FORWARD DEVELOPMENT  
GROUP, LLC**

CLIENT ADDRESS:  
**161 HORIZON DR. SUITE 101A  
VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	10 04 18	PIP SUBMITTAL - BUILD B & C
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Design/Drawn: KJS  
Approved: MAS

SHEET TITLE:  
**LANDSCAPE POINTS  
REQUIREMENTS -  
BUILDING B**

SHEET NUMBER:  
**L2.1**

JSD PROJECT NO: 16-7365



Toll Free (800) 242-8511

# BUILDING C

POINT REQUIREMENT 1: BUILDING FOUNDATION	
Zoning: PUD	Urban Commercial: 1,160 Linear Feet of Building Foundation
Calculation:	20 Landscape Points per 100 L.F.
Calculation Formula:	(1,160 Linear Feet of Building Foundation / 100 Linear Feet) x 20 Points per 100 L.F. = 232
Total Points Required:	232 Total Points
Total Points Provided:	489 Total Points
Code of Ordinances:	Screening of Utilities, HVAC, no Climax or Medium Trees To be located a maximum of 10' from building dripline
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Fothergilla gardenii	Dwarf Fothergilla
Cornus alba 'Bailhalo' TM	Ivory Halo Dogwood
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea
Spiraea betulifolia 'Tor'	Birchleaf Spirea
Diervilla sessifolia	Cool Splash Honeysuckle
Buxus 'Green Velvet'	Green Velvet Boxwood
Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark
<b>QTY</b>	<b>POINTS</b>
5	1
3	3
23	3
27	3
35	1
25	5
33	5
<b>Total Points = 489</b>	

POINT REQUIREMENT 2: STREET FRONTAGE	
Zoning: PUD	Urban Commercial: 587 Linear Feet of Street Frontage
Calculation:	20 Landscape Points per 100 L.F.
Calculation Formula:	(587 Feet of Street Frontage / 100 Linear Feet) x 20 Points per 100 L.F. = 117
Total Points Required:	117 Total Points
Total Points Provided:	120 Total Points
Code of Ordinances:	Min. 50% of Points to be Climax Trees or Tall Trees, Min. 30% of Points to be Small Trees To be located a maximum of 10' from R-O-W, no shrubs used to meet requirement
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Carpinus caroliniana	American Hornbeam
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
<b>QTY</b>	<b>POINTS</b>
7	10
5	10
<b>Total Points = 120</b>	

POINT REQUIREMENT 3: PAVED AREA	
Zoning: PUD	Urban Commercial: 58,808 Sq. Ft. of Pavement, 53 Parking Stalls
Calculation 1:	Greater of: 40 Landscape Points per 20 Stalls or 40 Points per 10,000 Sq. Ft. of Paved Area
Calculation 2:	360 Sq. Ft. of landscape area for every 100 Points required
Calculation 1 Formula:	(58,808 Sq. Ft. of Paved Area / 10,000 Sq. Ft.) x 40 Points = 235.2
Total Points Required:	236 Total Points
Total Points Provided:	300 Total Points
Code of Ordinances:	Min. 30% of Points to be Climax Trees, Min. 40% of Points to be Shrubs 360 Sq. Ft. of landscape area for every 100 Points required
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo
Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust
Juniperus sabina 'Mini Arcade'	Mini Arcade Juniper
<b>QTY</b>	<b>POINTS</b>
2	75
2	15
40	3
<b>Total Points = 300</b>	

POINT REQUIREMENT 4: DEVELOPED LOTS (BUILDING SQ. FT.)	
Zoning: PUD	Urban Commercial: 104,000 Sq. Ft. of Gross Floor Area
Calculation:	5 Landscape Points per 1,000 Sq. Ft. of Gross Floor Area
Calculation Formula:	(104,000 Sq. Ft. of Gross Floor Area / 1,000 Sq. Ft.) x 5 Points = 520
Total Points Required:	520 Total Points
Total Points Provided:	529 Total Points
Code of Ordinances:	Located away from and not contributing to Building Foundation Plantings. Street Frontages, Paved Areas points requirements
<b>Species: Scientific Name</b>	<b>Species: Common Name</b>
Acer rubrum 'Redpointe'	Redpointe Maple
Juniperus sabina 'Buffalo'	Buffalo Juniper
Thuja occidentalis 'Holmstrup'	Holmstrup Cedar
Juniperus sabina 'Mini Arcade'	Mini Arcade Juniper
Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden
Cercis canadensis	Eastern Redbud Multi-trunk
Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark
<b>QTY</b>	<b>POINTS</b>
7	30
3	3
4	20
10	3
4	30
2	10
12	5
<b>Total Points = 529</b>	

PLANT SCHEDULE BLDG C						
CLIMAX TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	GB	2	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo	B & B	2" Cal	75
LOW DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AG	5	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	4 ft tall min.	10
	CA	7	Carpinus caroliniana / American Hornbeam	B & B	4 ft tall min.	10
	CE	2	Cercis canadensis / Eastern Redbud Multi-trunk	B & B	4 ft tall min.	10
MEDIUM DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	GS	2	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	1.5" Cal	15
MEDIUM EVERGREEN TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	TH	4	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	4 ft tall min.	20
TALL DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AR	8	Acer rubrum 'Redpointe' / Redpointe Maple	B & B	1.5" Cal	30
	TG4	4	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B & B	1.5" Cal	30
LOW DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	DC	35	Diervilla sessifolia 'Cool Splash' / Cool Splash False Honeysuckle	3 gal	18" Min. Ht.	1
	FG2	5	Fothergilla gardenii / Dwarf Fothergilla	3 gal	18" Min. Ht.	1
LOW EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	JB2	3	Juniperus sabina 'Buffalo' / Buffalo Juniper	3 gal	12" Tall/Wide	3
	JS	50	Juniperus sabina 'Mini Arcade' / Mini Arcade Juniper	3 gal	12" Tall/Wide	3
MEDIUM DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	CH2	3	Cornus alba 'Bailhalo' TM / Ivory Halo Dogwood	3 gal	24" Min Ht.	3
	HA	23	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	24" Min Ht.	3
	PT	45	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	3 gal	24" Min Ht.	3
	ST	27	Spiraea betulifolia 'Tor' / Birchleaf Spirea	3 gal	24" Min Ht.	3
MEDIUM EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	GV	25	Buxus 'Green Velvet' / Green Velvet Boxwood	3 gal	18" Tall/Wide	5
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	CB	38	Calamagrostis brachytricha / Korean Feather Reed Grass	1 gal	Cont.	0
	HS	9	Helictotrichon sempervirens / Blue Oat Grass	1 gal	Cont.	0
	PN	33	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal	Cont.	0
	PS2	101	Panicum virgatum 'Shenandoah' / Switch Grass	1 gal	Cont.	0
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	HH	85	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 gal	Cont.	0
	HG	38	Heuchera x 'Georgia Peach' / Coral Bells	1 gal	Cont.	0
	HR	19	Hosta x 'Regal Splendor' / Regal Splendor Plantain Lily	1 gal	Cont.	0
	PAL	101	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	1 gal	Cont.	0
	SA2	80	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal	Cont.	0



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PROJECT:  
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PHASE I BUILDING B & C

PROJECT LOCATION:  
CITY OF VERONA  
DANE COUNTY, WI

PLAN MODIFICATIONS:		
#	Date:	Description:
1	10.04.16	PIP SUBMITTAL - BUILD B & C
2		
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12		
13		
14		
15		

Design/Drawn: KJS  
Approved: MAS

SHEET TITLE:  
LANDSCAPE POINTS  
REQUIREMENTS -  
BUILDING C

SHEET NUMBER:  
L2.2

JSD PROJECT NO. 16-7365

File: I:\2016\167365\JWC\PHASE 1 Construction Drawings\167365 L1.0 - LANDSCAPE.dwg Layout: L2.2 User: akoniewski Plotted: Oct 01, 2016 4:33pm Xref: 16-7365 West Verona Ave

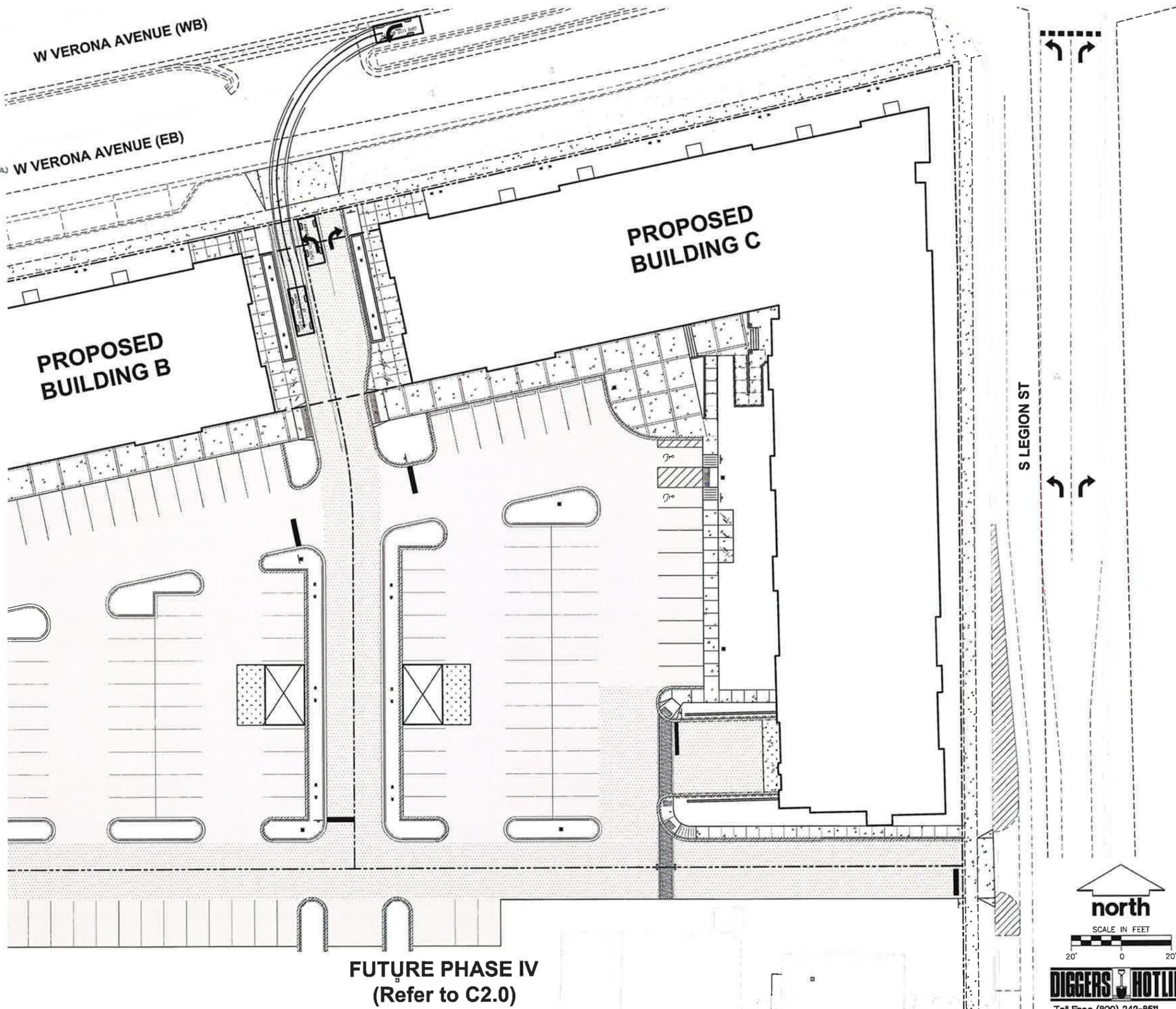


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**LEGEND (SITE PLAN)**

-  PROPERTY LINE
-  RIGHT-OF-WAY
-  EASEMENT LINE
-  BUILDING OUTLINE
-  EDGE OF PAVEMENT
-  STANDARD CURB AND GUTTER
-  REJECT CURB AND GUTTER
-  ASPHALT PAVEMENT
-  HEAVY DUTY ASPHALT PAVEMENT
-  CONCRETE PAVEMENT
-  HEAVY DUTY CONCRETE PAVEMENT
-  RETAINING WALL (REFER TO PLAN SHEET/DETAIL)
-  LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
-  TREE UPLIGHTING (REFER TO PHOTOMETRIC CUT SHEET)
-  ADA PARKING SIGNS



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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**FORWARD DEVELOPMENT GROUP, LLC**

CLIENT ADDRESS:  
**161 HORIZON DR. SUITE 101A  
VERONA, WI 53593**

PROJECT:  
**WEST VERONA AVENUE  
PHASE I BUILDING B & C**

PROJECT LOCATION:  
**CITY OF VERONA  
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	10.04.18	PIP SUBMITTAL - BUILD B & C
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: ABK  
Approved: KJYTB

SHEET TITLE:  
**AUTOTURN ROUTE**

SHEET NUMBER:  
**EXHIBIT**

JSD PROJECT NO: 16-7365

File: I:\2016\167365\DWG\PHASE 1 Construction Drawings\167365 C2.0 - SITE PLAN.dwg Layout: AUTOTURN User: kysako Plotted: Oct 23, 2018 - 2:19pm Xref's:

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First through Fourth Floor  
Building B Apartment Counts

	Fi st Floor	Second Floor	Third Floor	Fourth Floor	Total Apt Units	%
Efficiency Apt Unit	1	2	2	2	7	10%
1 Bed / 1 Bath Apt Unit	4	13	13	10	40	59%
2 Bed / 2 Bath Apt Unit	1	5	5	6	17	25%
2 Bed / 2 Bath + Den Apt Unit	1	1	1	1	4	6%
Total Apt Unit Per Floor	7	21	21	19	68	

First through Fourth Floor  
Building C Apartment Counts

	Fi st Floor	Second Floor	Third Floor	Fourth Floor	Total Apt Units	%
Efficiency Apt Unit	1	2	2	2	7	9%
1 Bed / 1 Bath Apt Unit	3	7	7	6	23	31%
2 Bed / 2 Bath Apt Unit	5	12	12	12	41	55%
2 Bed / 2 Bath + Den Apt Unit	1	1	1	1	4	5%
Total Apt Unit Per Floor	10	22	22	21	75	

Underground Parking Building B	61
Underground Parking Building C	72
Underground Parking Building B/C Connector	12

Total Underground Parking	145
Total Units Building B&C	143



MENU



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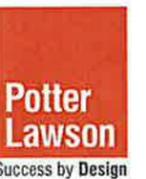








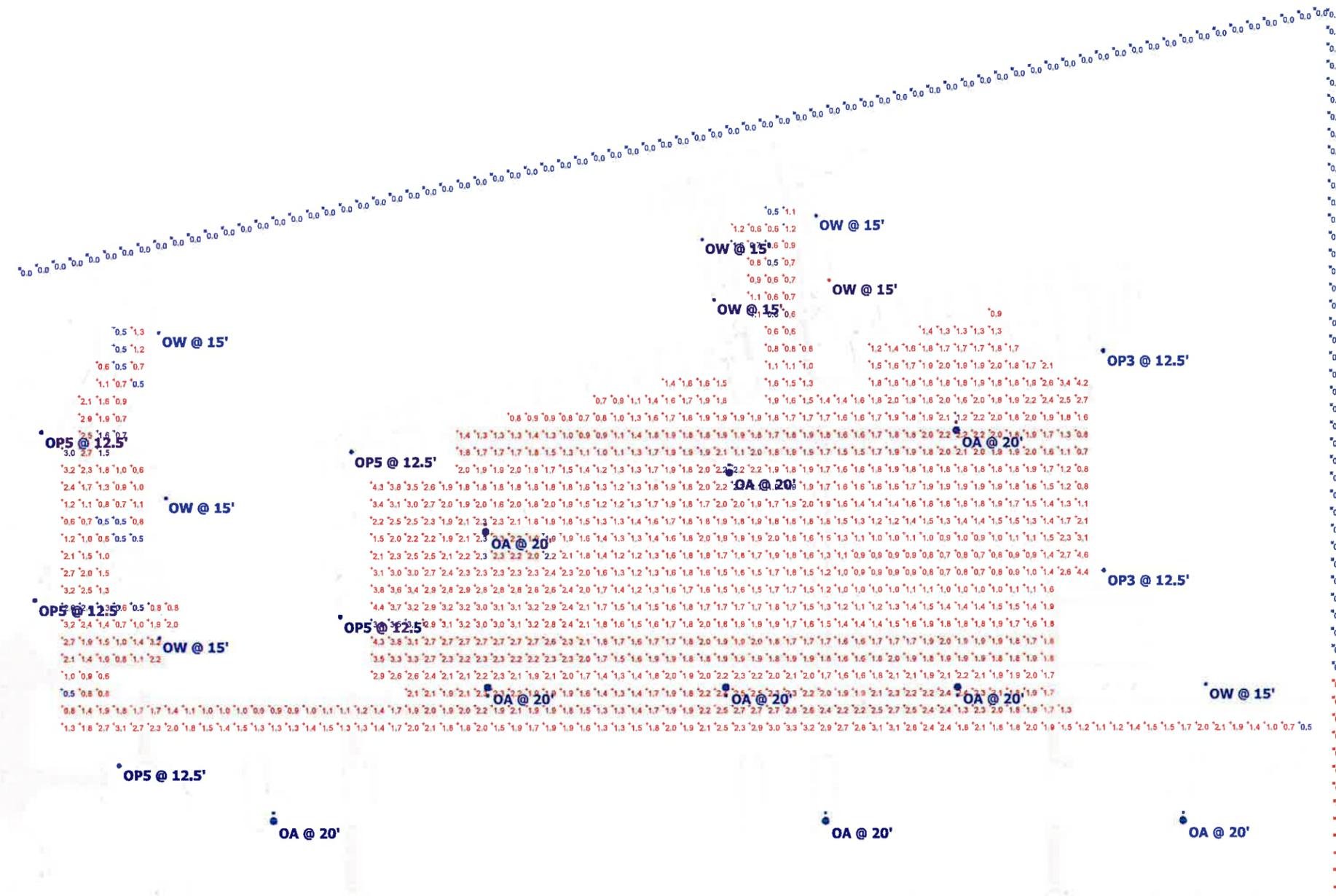
Perspective View of Building B  
Sugar Creek Commons - 2016.38.00  
October 04, 2018





Perspective View of Building C  
Sugar Creek Commons - 2016.38.00  
October 04, 2018





Schedule			
Symbol	Label	QTY	Catalog Number
	OP5	5	MRP LED
	OP3	2	MRP LED
	OA	9	MR2 LED
	OW	8	OLAW23 120

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	1.8 fc	4.6 fc	0.5 fc	9.2:1	3.6:1
PROPERTY LINE	X	0.0 fc	0.2 fc	0.0 fc	N/A	N/A